

Design Guidelines

Introduction

The aim of the Design Guidelines is to provide guidelines that reinforce the importance of Inter-War flat buildings, while allowing some managed change.

Inter-War flat buildings are part of a global tradition and Waverley had the second highest density in Sydney.

Inter-War flat buildings are an important typology in Waverley. Collectively, flats reveal an important historic period which has a strong aesthetic character still evident today, which contributes to the streetscape and Heritage Conservation Area. Many are heritage items.

Different styles from the Inter-War period are identified with the simple utilitarian and bungalow styles, representing 55% of all flats of the period. Art Deco, Mediterranean.

The study is based on a typology study of approximately 600 buildings, which has identified 6 distinct types and 34 sub-types.

32 early flat two side by side represent one-third of all flat buildings of the period.

Flat four two side by side represents 25% of all flats.

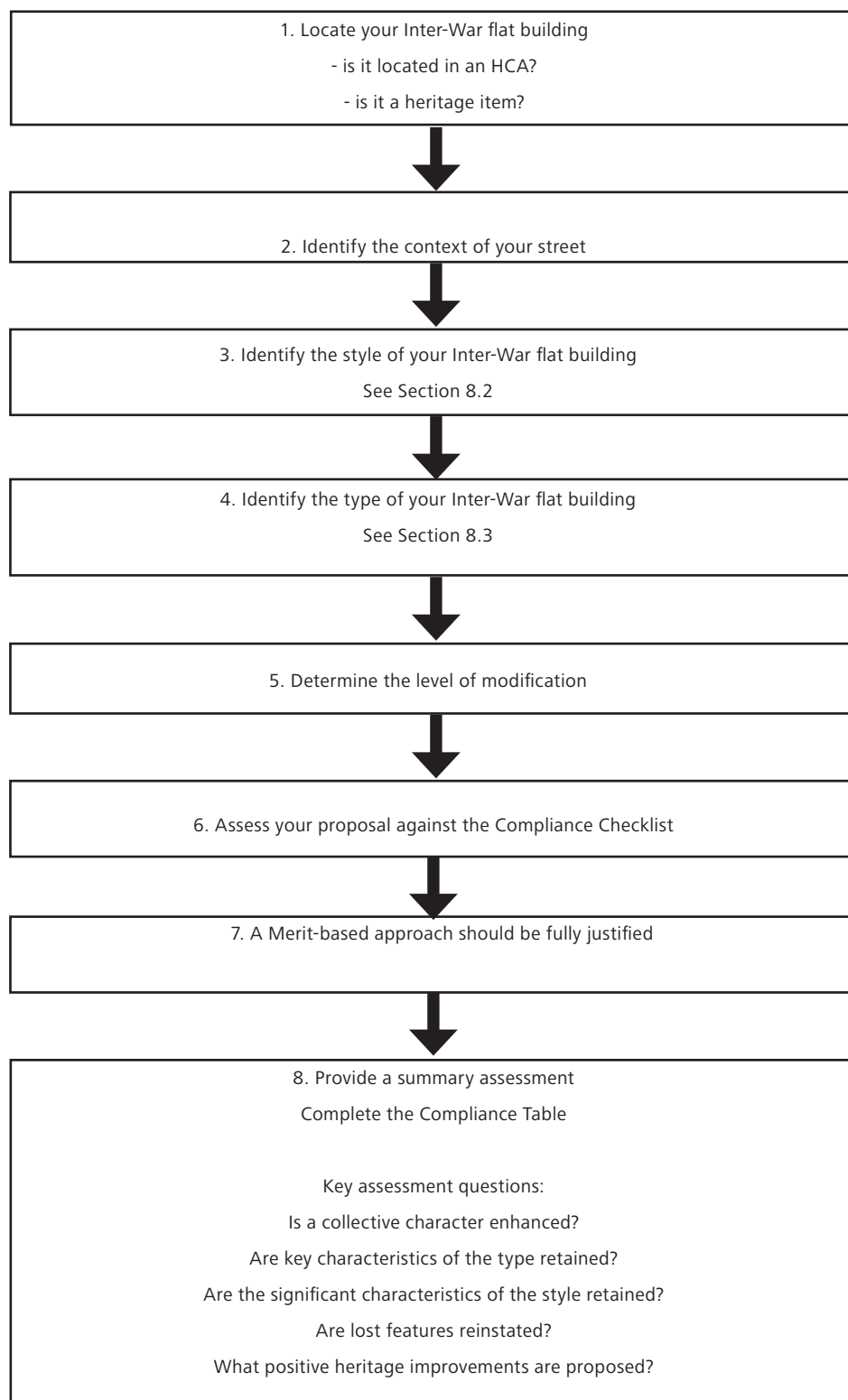
Design Guidelines

1. Key Steps

Managing Change

Visible change can alter and erode the significance of the individual building, the pair or the group.

This involves visible additions but also changes to the form, finishes or detail and changes to the landscape setting.



2. Key Steps - Identify the style of your Inter-War Flat building

The Inter-War style guidelines are based on Irving Apperley et al categories based on period and style. The style time frame has been extended into the 1950's.

Each style has particular characteristics that reinforce the experience from the façade, entry to foyer to apartment. The original design of a building reflects the greatest design intent with detailing supporting the overall composition. Later modifications usually weaken the design intent.

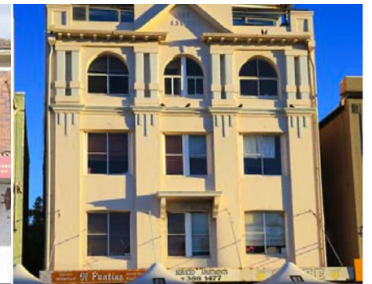
Speculative builders of the Inter-war period often constructed flat buildings in a number of standard plan forms or typologies and overlayed one of the various styles. This led to a uniformity of scale, form and articulation and a variety of façade treatment. A combination of elements from different styles was also used to provide variety.

This study has identified 10 styles:

- Inter-War Georgian Revival
- Inter-War Free Classical
- Inter-War Stripped Classical
- Inter-War Mediterranean
- Inter-War Spanish Mission
- Inter-War Functionalist
- Inter-War Art Deco
- Inter-War Old English
- Inter-War Utilitarian
- Inter-War Bungalow



Georgian Revival



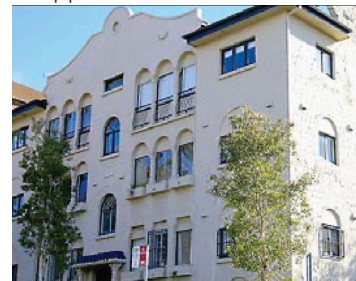
Free Classical



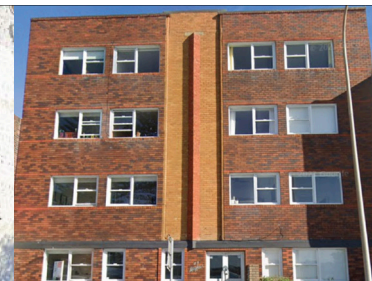
Stripped Classical



Mediterranean



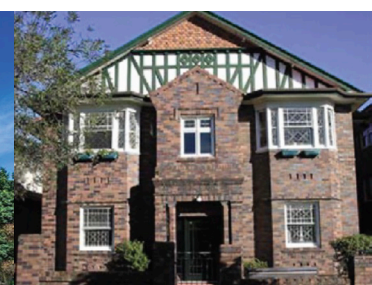
Spanish Mission



Functionalist



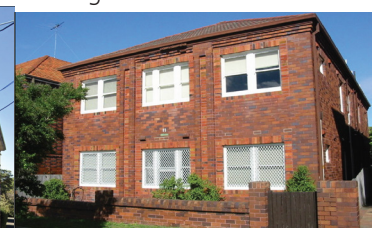
Art Deco



Old English



Bungalow



Utilitarian

Inter-War Georgian Revival - Key Features

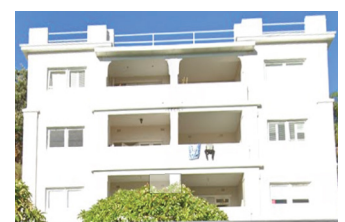
Form/massing	rectangular, prismatic, symmetrical form
Roof	hipped roof with boxed eaves
Walls	plain wall surfaces of face brickwork or render on plinth quoining, string course and cornice common
Openings	repetitive fenestration multi-pane Georgian windows; often with shutters semicircular headed windows/ openings to ground floor panelled front door with sidelights and Fanlight and fanlight motif groups of three windows
Entry	entrance with classical order treatment
Detail	classical elements such as porticos and pediments



Inter-War Georgian Revival style is rare in Waverley.

Inter-War Free Classical - Key Features

Form/massing	symmetrical form with central entry
Roof	parapet with classical cornice remnant pediment
Walls	rendered wall surfaces articulated pilasters tripartite division of the facade intercolumniation may be too wide or too narrow
Openings	free interpretation of Palladian motifs
Entry	projecting portico
Detail	use of classical elements, and columns, in simple exterior. conventional or unconventional classical order of architecture



Inter-War Stripped Classical - Key Features

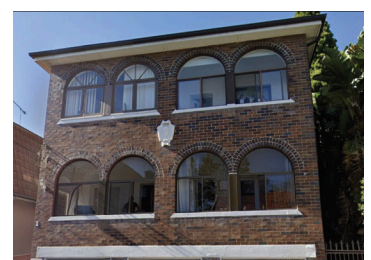
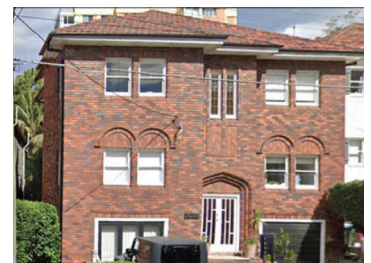
Form/massing	symmetrical form division of the street facing facade into vertical bays simplified classical feature
Roof	parapet and flattened or remnant entablature or cornice
Walls	plain wall surfaces usually painted in light colours simplified remnant classical base
Openings	openings usually of vertical classical proportions use of spandrels between floors simplified fluted classical piers emphatic portal
Entry	remnant classical portico
Detail	simplified classical motifs



Inter-War Stripped Classical style is rare in Waverley.

Inter-War Mediterranean - Key Features

Form/massing	informal massing and arrangement of building elements
Roof	medium-pitch hipped or gable tiled roofs exposed rafter ends
Walls	light-coloured smooth or textured walling
Openings	arcades loggias and round arches vertical, double-hung sash windows with hinged shutters fanlight, window grilles and wrought iron detail
Detail	simple classical motifs including arcades, porches, loggias, balconies



Inter-War Spanish Mission - Key Features

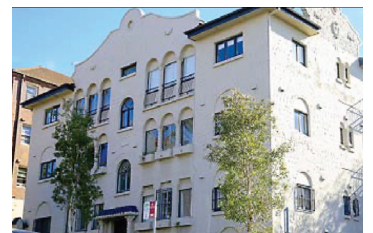
Form/massing irregular arrangement of building elements

Roof medium-pitch hipped or gable roofs
Spanish or Roman roof tiles

Walls stucco with exaggerated texture
decorative parapets
shaped corbels

Openings grouped arched openings
window shutters
arcaded loggias and porticoes

Detail ornamental metalwork
concentration of ornament
barely twist columns
cartouches



Inter-War Functionalist - Key Features

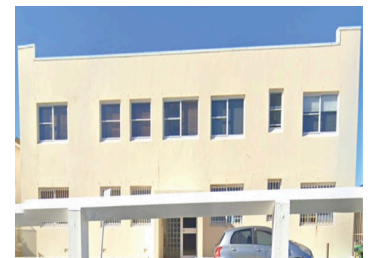
Form/massing asymmetrical massing common
corner sites exploit 3-dimensional expression
contrasting horizontal and vertical motifs
long horizontal spandrel or balcony
semicircular projecting wing
stair expressed by vertical emphasis

Roof flat roofs concealed by a parapet

Walls plain rendered or face brick walls

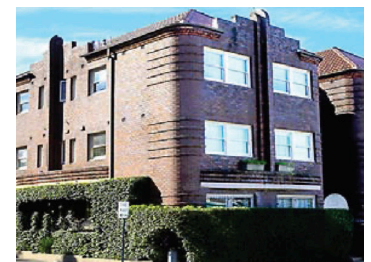
Openings fenestration in horizontal bands
ribbon windows, corner windows
metal framed windows, curved glass, and glass bricks

Detail cantilevered balconies, hoods and roofs



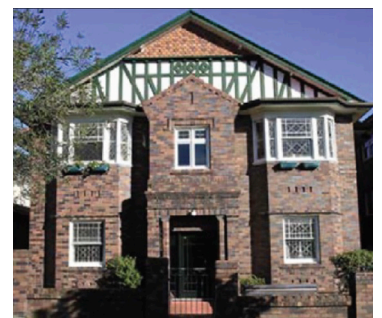
Inter-War Art Deco - Key Features

Form/massing	symmetrical form common stepping of the building mass
Roof	stepped parapet
Walls	decorative face brickwork vertical fins or piers
Openings	ornamental window grilles
Detail	parallel line motif and chevron motif decorative elements concentrated on the upper- portion of the building



Inter-War Old English - Key Features

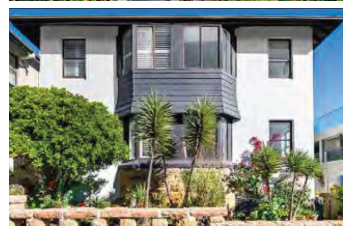
Form/massing	asymmetrical form common
Roof	medium-pitched gabled roofs half-timbered gable ends decorative timber bargeboard
Walls	face brick walls
Openings	casement windows with leadlight glazing with diamond pattern
Detail	herringbone brick detail common



Inter-War Old English style is rare in Waverley.

Inter-War Bungalow (domestic utilitarian) - Key Features

Form and massing	simple rectangular brick prism usually symmetrical, sometimes asymmetrical projecting bays
Roof	medium-pitched hipped roofs, often pyramidal gable with timber battens
Walls	dark face brick walls bays often with shingled finish
Openings	white painted double hung timber windows sometimes convex glass panes to top sash



Inter-War Utilitarian (warehouse) - Key Features

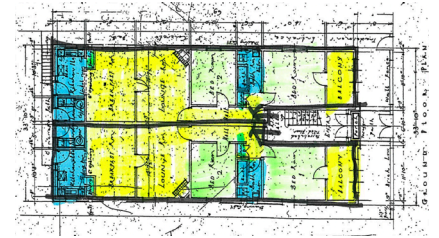
Form and massing	simple rectangular brick prism
Roof	medium-pitched hipped roofs
Walls	dark face brick walls
Openings	expressed concrete lintels dentilated brick sill detail
Entry	central entry
Detail	minimal, occasional classical flourish applied



3. Key Steps - Identify the type of your Inter-War Flat building

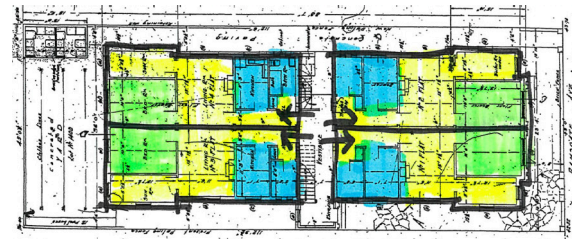
Type 1

- 2 flats per floor
- central entry



Type 2

- 4 flats per floor
- usually side entry



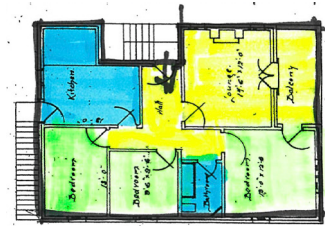
Type 3

- 2 flats per floor, one at the front, one at the back
- side entry



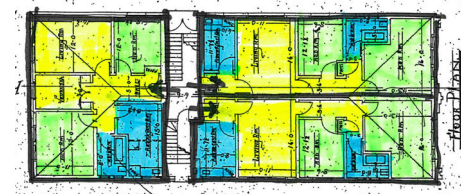
Type 4

- 1 flat per floor
- side stairs



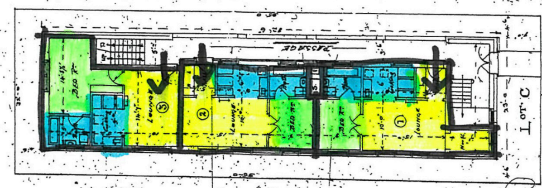
Type 5

- 3 flats per floor, two at the front, one at the back or vice versa
- generally side entry



Type 6

- linear corridor
- multiple separate stairs



4. Guidelines for Change

Form and Massing

Element	Discussion
Form	
Loss of simple form Complicated roof forms	<p>Simple forms are a key characteristic of Inter-War flat buildings in Waverley.</p> <p>Additions to the simple prismatic masonry form changes the character of the building. This is particularly important to their group value.</p> <p>Simple hipped roof forms are a key characteristic of Inter-War flat buildings in Waverley, and roof additions that are dominant in views from the street permanently alter the character of the building.</p> <p>Cut outs in roofs can affect the simple roof forms.</p> <p>Minimal dormers that do not dominate can improve the amenity.</p>
Massing	
Additions to façade Loss of stepping of building mass	<p>Additions can impact on the symmetry of a flat building and the stepping of the building mass which can be a key characteristic of a style. Refer to the characteristic massing as outlined in style table.</p>



North Bondi



Bondi



Bondi Beach



Bondi Beach

Roof

Element	Discussion
Finishes	
Change of roof finishes	Terracotta and multicolour concrete roof tiles are a key characteristic of Inter-War flat buildings in Waverley. They provide a textural quality to the roof. Original roof tiles should be retained and conserved. Where replacement is necessary the original profile and colour should be replaced. Modern black or grey tiles are not appropriate for Inter-War flat buildings due to their uncharacteristic colour and monotone appearance.



North Bondi

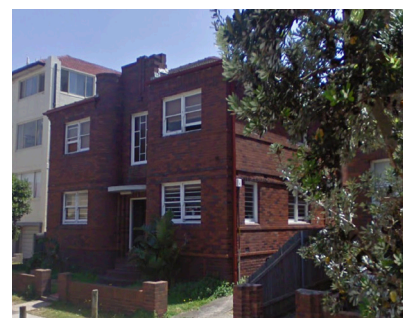


Bondi Beach

Parapet	
Removal of parapet and/or parapet detail	Parapets are key features of several Inter-War styles and provide a stepping of building mass. Some parapets have specific stylistic features such as Spanish Mission and Art Deco buildings. Buildings and streetscapes with characteristic skylines should be retained.
Extension of parapet	



Bondi Beach



Bondi Beach

Walls

Element	Discussion
Finishes	
Finishes	The character of Inter-War flat buildings in Waverley relies on retention of original face brickwork. This provides textural quality to the facades. Most of the key styles in Waverley are characterised by the use of face brick finishes, and often decorative brickwork which is no longer made and rare. Painting, rendering or bagging of face brickwork results in the irrevocable loss of character and should be avoided.
Bagging, rendering or painting of face brick	
Loss of decorative brickwork	Where face brickwork has been previously painted, the original character can be better interpreted with dark neutral tones to suggest face brickwork. This is of particular importance to retain the group character.
Loss of original textured render finishes	Original textured render finishes (smooth, fan trowelled, roughcast) provide a textural quality to the wall and should be retained.
Loss of original shingle/battened sheet finishes	Original shingle finishes and original battened sheet finishes are evidence of the variety of early finishes and should be retained
Loss of textural contrast	The textural contrast between materials is a key feature of Inter-War flats.
Signage	
Name of building not legible	Inter-War flat buildings strove to have their own identity and individual character identified by a building name. The name often alluded to overseas examples as a form of aggrandisement. The building name was often prominently displayed on the façade and should be retained. New work can highlight this feature and reinstate lost features based on evidence. Refer to Waverley Council Inter-War signage guidelines.



Bondi



Bondi Beach



Bondi



Bondi

Wall Openings

Element	Discussion
Verandah	
Infill of verandah Opening altered	The Inter-War flat building often featured verandahs to the street façade. The glazed infill of openings changes the articulation of the façade, by reducing the modulation and play of light and shadow and introducing vertical divisions. Original verandahs should be retained and previously infilled verandahs should be recovered, or interpreted with frameless glazing.
Fenestration	
Change to fenestration pattern	Inter-War flat building facades were characterised by a formal arrangement of windows. Their style and proportions reflect the Inter-War style of the building. New openings to the façade can affect this arrangement.
Additional opening	
New windows	Where changes are essential they should reinforce the original pattern of fenestration to the street facades.
Convert windows to doors	Where windows are replaced by doors, the proportion and glazing pattern of windows should be replicated in the new door.
	Original hardwood timber framed windows are generally a higher quality than later replacement windows, and should be retained and repaired. Some Inter-War flat styles feature steel frame windows. These should also be retained and conserved as they contribute to the character of the building.
Replacement of original windows	When replacement of windows is necessary the width and depth of the frame and the glazing bar pattern need to match the original. Decorative obscure 'Kosciusko' glazing, leadlight glazing and curved glass can be key features of facades contributing to their style, and should be retained.
Security Bars	Security bars can impact on a characteristic fenestration patterns set out by the glazing bars. Alternatives such as internal security bars, alarms or laminated film applied should be pursued.



Bondi



North Bondi



Bondi Beach



Dover Heights

Entry

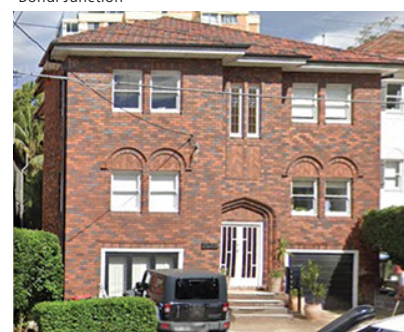
Element	Discussion
Entry	
Replacement of entry doors and fan/side lights	The entry of an Inter-War flat building is a continuation of the style of the façade and is important to the total experience of the building. The entry sets the tone for the experience of the interior.
Entry steps retiled	The character of the buildings entry is created by elements including the path and steps and handrail, porch, awnings, terrazzo flooring/ unglazed terracotta floor tiles, timber doors, fanlights and sidelights with multi pane glazing and leadlight. Original lighting, panelling and stairs to the foyer are also important to retain.
Railing replaced	
Fire and safety upgrade intrusive, loss of fabric	The original BA plans will often indicate the original detail and decorative treatment of the entry. Other local buildings from the period can indicate the original detail.
Security upgrade intrusive	It is important to manage fire, safety and security upgrades to retain the original fabric and character of the entry and foyer. Heritage guidance can assist in retaining original features.
Stylistic features	
Removal of stylistic features	The features listed in the style tables combine to create the distinctive character of Inter-War flat buildings of different styles. These features should be retained. The original BA plans and early photos can indicate where stylistic features have been removed and could be reinstated.



Bondi



Bondi Junction



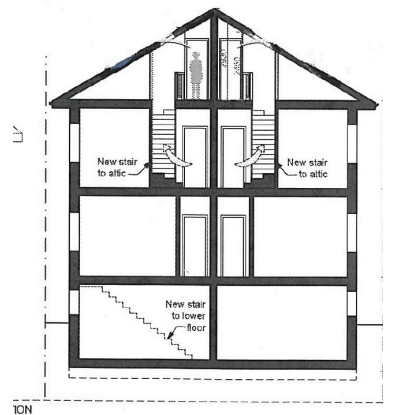
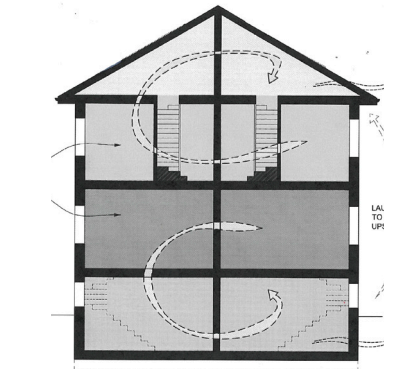
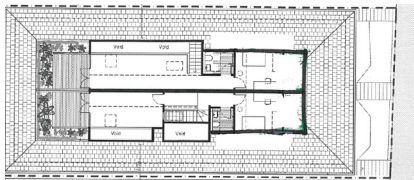
Bondi



Bronte

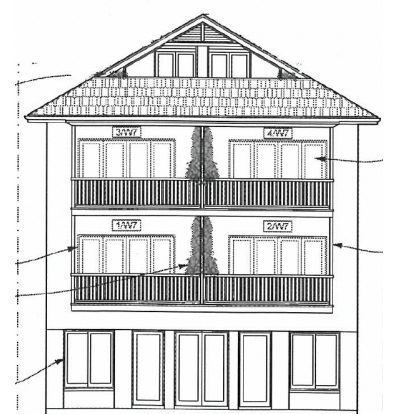
Additions

Element	Discussion
Attic conversion	
Conversion of hipped roof form with skylights, balconies	Hipped roof forms can be converted to provide extra floor space within roof form with minimal dormer without impacting on the integrity of the flat building in terms of its roof form.
Gable conversion with fenestration	Gabled roof forms can be converted to provide extra floorspace without altering the characteristic form and massing of the building. In these cases, original gable end finishes should be retained and any fenestration must support the original style and character of the building in its proportion and vertical divisions.



Dormers

Front dormer visible from street	Dormer windows are not typical characteristic features of Inter-War flat buildings. Adding large dormers to hipped roof forms can impact upon the form and character of the Inter-War flat building. The visibility of dormers directly relates to the scale of adjacent buildings and the topography. Dormers facing the street are generally highly visible and therefore inappropriate. Rear dormers are generally acceptable.
Side dormer prominent in street	Side dormers may be achievable depending on the context, and specifically how visible they will be. Traditional dormers are not characteristic and can be visually prominent. The location, size and finishes affects their visibility. Extended gabled or hipped dormers, that continue the dormer roof to the original roof and eliminate the side walls may be less dominant.

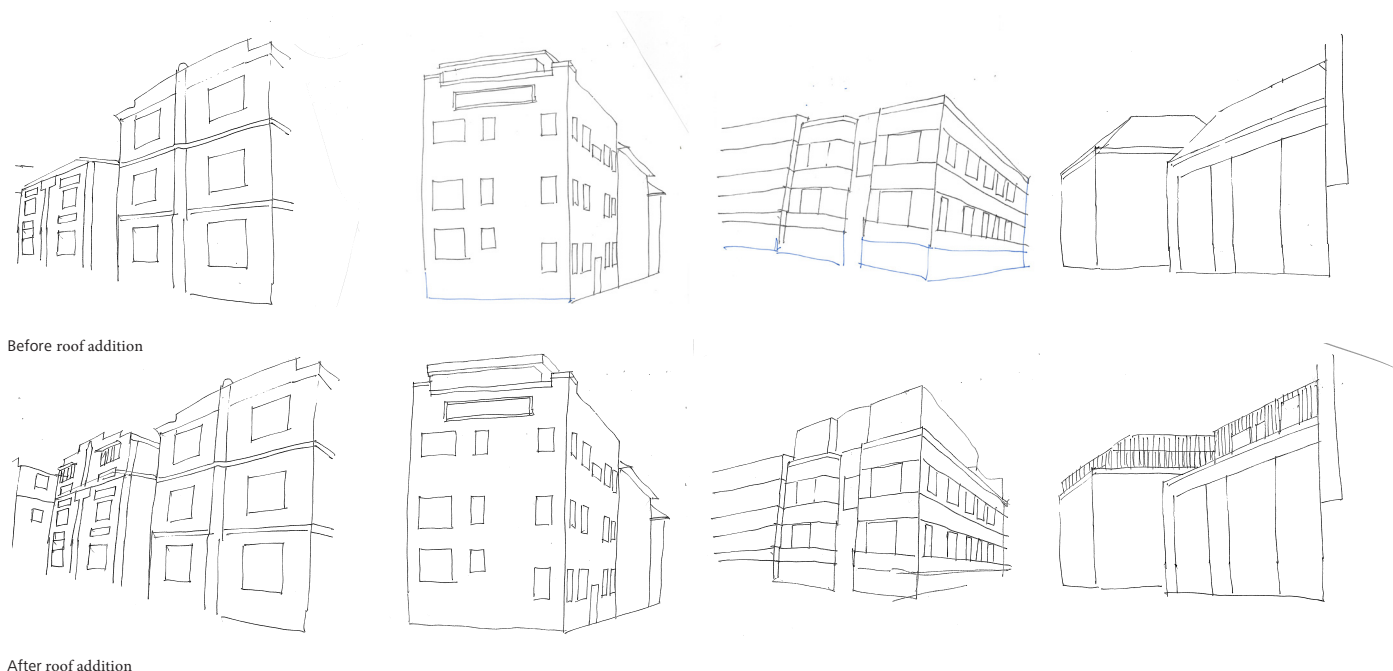


Dormer DAs

Additions

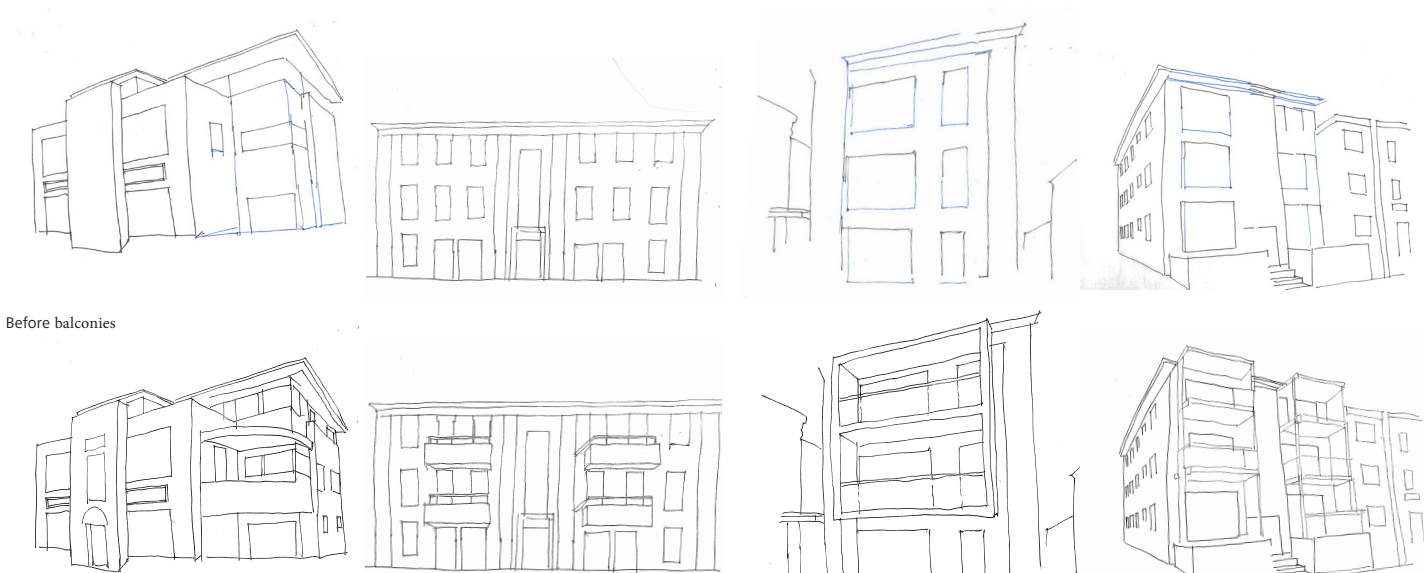
Element	Discussion
Roof Additions	
Extra Floor Can result in loss of character, consistency or streetscape	An additional floor will generally result in the loss of characteristic scale, form and often the consistency of the streetscape. It should only be contemplated when the existing building is not accomplished, characteristic and/or intact and an additional floor would support the established streetscape scale and character. Parapets are key decorative features of many Inter-War flat building styles. Original parapets should be retained.
Visible additions behind parapet Visible dividing wall Balustrade on parapet Extension of parapet Creation of parapet	Any additions behind the parapet should be setback to enable the parapet to be viewed against the sky and reduce the impact of the addition. Roof terraces and additions behind a parapet may be able to be achieved without visual impact, provided any structures such as balustrades or dividing walls are set back and not visible.

Where the additional floor reinforces the street context, it can continue in the same style or different styles. New floors may interpret the predominant use of face brick in new ways.



Additions

Element	Discussion
Balconies	
Balcony additions obscure original façade	Balconies are key stylistic elements of some Inter-War flat buildings. The simple prismatic form and lack of balconies is a key characteristic of many Inter-War flat buildings.
Projecting glazed balconies detract from masonry character of flat buildings	<p>Original projecting balconies are rare but generally only occupy part of the façade. New balconies can obscure original façades and create an uncharacteristic horizontal massing. Glazed balconies are inconsistent with the solid masonry character of the Inter-War flat building.</p> <p>Some of the verandahs have been infilled over time. Reinstating the original balconies is a preferred outcome.</p> <p>Balcony additions are generally only appropriate to rear facades.</p> <p>New balconies should support the stylistic characteristics and articulation of the façade.</p>
Inappropriate door proportions when converting window to door	Where original window openings are converted to door openings to access new balconies, the width and fenestration patterns of the original window opening should be respected in the new door.

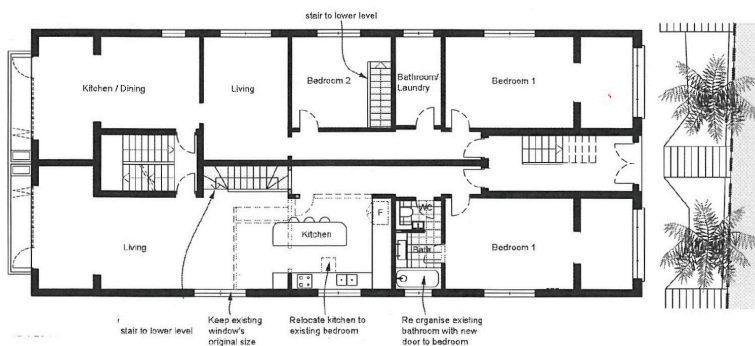


Before balconies

After balconies

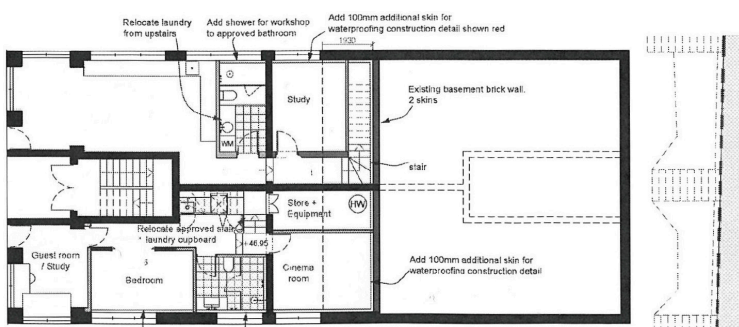
Alterations

Element	Discussion
Undercroft alterations	
Laundry conversion	Inter-War flat buildings were typically constructed with communal laundries to the undercroft or roof. Many of these have become redundant. The re-use of laundries and undercroft areas is generally acceptable as the form of the building is retained.



Rear Additions

Additions to the rear, set down below the gutter height, that reinforce the original form and do not impact on the character of the group or on neighbours may be supported.



Setting

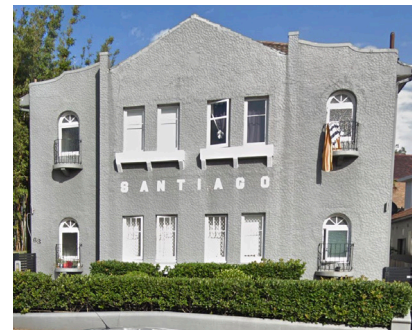
Element	Discussion
Fences and Gates	
High fences Extending low fences with picket fence	<p>Inter-War flat buildings typically provided low masonry fences to the street frontage.</p> <p>This provided an important demarcation of the boundary. The correlation between materials and style of building and fence is important.</p> <p>Low wrought iron and steel gates, and metal ribbon and flat iron panels between masonry piers were commonly used. Picket fences and palisade fences are not generally characteristic of the period. High fences are not characteristic where privacy is needed, hedges behind the low fence can be provided.</p>
Landscaping	
Removal of original fencing Inappropriate front fencing High fencing to street detracts form communal garden	<p>The area between the flat building and the fence was landscaped and car access was reduced to wheel ways. Many flats had landscaping and no parking. Loss of front landscaping reduces the setting and separation from the street. Rear yards often retained dense planting which contributes to the amenity.</p> <p>Character of the dense planting often reinforced the landscape of the reserve.</p> <p>Landscape controls can enhance the setting of the flat buildings.</p> <p>Landscaped frontage can conceal new larger mailboxes and bins.</p>
Mailboxes	
Mailbox dominant in streetscape Mailbox increase height of fence	<p>Original inset mailboxes built into the fence should be retained if possible. These can be supplemented by additional letter boxes.</p> <p>Banks of steel or aluminium mailboxes on the street boundary can dominate the streetscape, the flat building and original fencing, new letterbox should be concealed.</p> <p>The impact of new mailboxes can be mitigated if they are a dark recessive colour, setback from the street boundary and located within the landscape.</p>



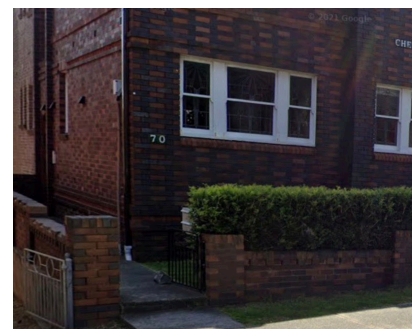
North Bondi



Bondi



North Bondi



North Bondi

Parking

Element	Discussion
Parking	
Parking dominating front setback	<p>Some Inter-War flat buildings provided basement garages in the front façade that reinforced the fenestration pattern. Some provided basement garages and a lawn due to the site fall. These were often treated with stone facing. Original garages should be retained.</p> <p>Openings generally should not be widened, unless the composition of the façade is not affected, and the change occurs in an informed manner that respects the symmetry and proportion of the original.</p>
Loss of fence and landscape setting for parking	<p>Original driveways were often concrete wheel strips with grass/groundcover between and fences defining entry and street. The loss of this landscape and fence for car access removes the boundary demarcation and degrades the presentation of the building to the street.</p> <p>New garages or carports in front of the façade are generally inappropriate as they obscure and dominate the façade.</p> <p>Pergola with climbers may be appropriate to mitigate broad expanses of carstands in elevated Spanish Mission or Bungalow style flat buildings.</p> <p>New garage doors should be recessive in facades.</p>



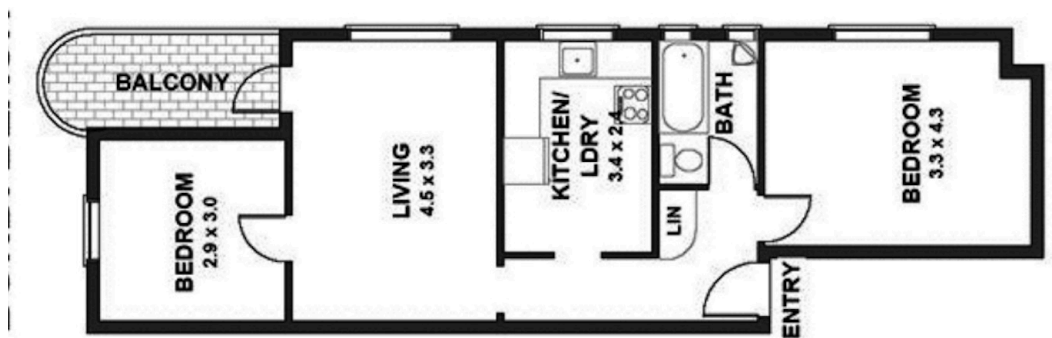
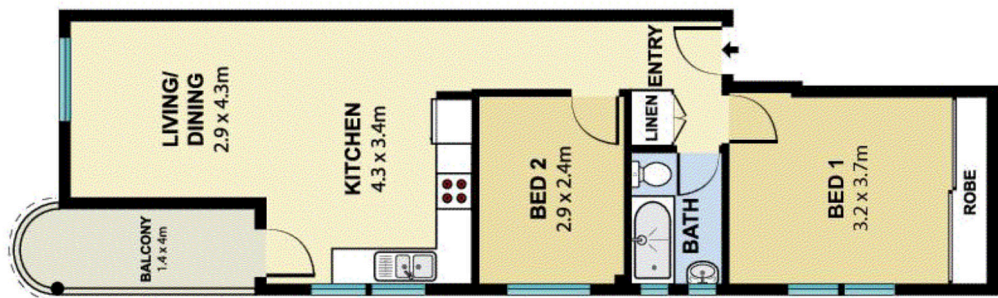
Bondi Beach



Bondi Beach

Interior

Element	Discussion
Interior	
Change of internal layout	Generally, modification and upgrade of the individual apartment interiors can occur provided the primary elevations and style characteristics are retained.
Demolition of interior walls	Encourage retention of original interior character and detail that enhances the value
	Encourage the retention of significant internal features within individual units.
	Conserve the character entry and internal common areas.
	Creating more open planning can occur while retaining some legibility of the plan.
	Where internal walls demolished, retain nibs.



5 Compliance Table/Checklist

Element	Guidelines	Compliance
Form and Massing	Retain simple prismatic masonry forms, simple hipped roof forms.	
Roof Finishes	Retain terracotta tile finishes or replace to match. Replace flat roofs as necessary.	
Roof Parapet	Retain parapets and do not extend.	
Wall Finishes	Retain decorative brickwork and do not paint face brickwork. Paint non original finishes in dark neutral tones to suggest face brickwork. Retain original textured render finishes (smooth, fan trowelled, roughcast). Retain original shingle finishes and original battened sheet finishes.	
Signage	Retain building name on façade or reinstate building name based on evidence.	
Verandah	Retain original openings and do not infill original verandahs. Open up previous infilled verandah or replace glazing with frameless glazing.	
Fenestration	Retain the pattern and proportion of original windows and timber or steel finish. Replacements need to match the original proportion and finish. Retain proportion and glazing pattern of windows converted to doors. Remove external security bars and provide alternate security.	
Entry	Retain original timber French doors with multi pane glazing. Retain / restore porch. Retain original steps and simple pipe rail handrail. Retain terrazzo flooring, unglazed terracotta tiles and original concrete slab awnings. Fire and safety and security upgrade discreet and retain original fabric.	
Stylistic features	Retain stylistic features listed in Style table and reinstate lost features.	
Additions	Minor additions should retain the overall form and character of the building.	
Attic conversion	Additional floor space within the roof form is acceptable. Control size and location of skylights and retain gable end finishes. Fenestration should respond to the scale and proportion of the existing fenestration.	
Inset Balcony	Avoid inset balconies to visible roof planes.	

Element	Guidelines	Compliance
Dormers	<p>Front dormers are not acceptable.</p> <p>Rear dormers are generally acceptable as they have limited visibility.</p> <p>Side dormers may be acceptable depending on visual impact.</p>	
Roof Additions	<p>Roof additions are only supported where established streetscape scale is higher.</p> <p>Retain parapet and set back additions behind parapet to ensure skyline is retained.</p> <p>Use recessive finish detail and colour to minimise impact of additions.</p> <p>Minimise the thickness of the roof edge.</p> <p>Setback dividing walls from parapet (planter solution) to ensure skyline is not interrupted.</p>	
Balconies	<p>Balcony additions to rear only.</p> <p>Balcony should support stylistic characteristics and articulation of façade.</p>	
Undercroft alterations	<p>Re-use of laundries and undercroft areas is acceptable.</p>	
Rear Additions	<p>Set down additions to the rear below the gutter height.</p>	
Fences and Gates	<p>Retain original low masonry boundary fences and retain original materials.</p> <p>Do not raise height of fence. Use landscape to limit access and provide privacy.</p>	
Landscaping	<p>Retain landscape areas forward of building line and maximise landscape to street front.</p> <p>Use landscape to conceal mailboxes, bins and new ancillary facilities.</p>	
Parking	<p>Retain original basement garage opening widths.</p> <p>Do not widen driveways and retain concrete wheel strips.</p> <p>Do not construct garages or carports in front setback or in front of buildings</p> <p>Pergolas may be appropriate to mitigate broad expanse of carstands.</p> <p>Recess garage doors.</p>	
Mailboxes	<p>Retain original inset mailboxes built into fence.</p> <p>Expand in similar style as necessary or locate new mailboxes within landscape.</p>	
Interior	<p>Modification of the interior can occur if there is no impact on the street facades.</p>	