

REVIEW OF ENVIRONMENTAL FACTORS



Quinn Road Waverley Cemetery, Bronte

Prepared for Waverley Council



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QUINN ROAD, WAVERLEY CEMETERY, BRONTE

Prepared for
Waverley Council

Prepared by
BBC Consulting Planners

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Waverley Cemetery REF v.4
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Document Control Register

The following register documents the preparation and issue of this Review of Environmental Factors (REF) under Division 5.1 of the *Environmental Planning and Assessment Act 1979* prepared by BBC Consulting Planners on behalf of Waverley Council (Council).

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Declaration

This Review of Environmental Factors (“REF”) has been prepared by BBC Consulting Planners on behalf of Waverley Council (Council). The REF is an assessment of potential environmental impacts associated with the construction of new columbarium walls for the purpose of ash interment memorial and associated landscape interface works along Quinn Road (internal) at Waverley Cemetery located at St. Thomas Street, Bronte.

Waverley Council is a public authority and a determining authority as defined in the *Environmental Planning & Assessment Act 1979* (“EP&A Act”). The proposal satisfies the definition of an “activity” under the Act, and as such, Waverley Council must assess and consider the environmental impacts of the proposal before determining whether to proceed.

This REF has been prepared in accordance with Division 5.1 of the EP&A Act and Section 171 of the *Environmental Planning and Assessment Regulation 2021* (“The Regulation”). It addresses all matters affecting, or likely to affect, the environment as a result of the proposed activity. This REF has been prepared having regard to *Guidelines for Division 5.1 assessments* prepared by Department of Planning and Environment, June 2022 referred to in Section 170 of the Regulations.

This REF has concluded that the project would not have a significant negative impact on the environment and therefore, it is considered that no additional environmental assessment is required.

The proposed activity is recommended for approval subject to implementation of measures to avoid, minimise or manage environmental impacts listed in this REF.

Document Authorisation

Authorised for issue by:

Name: Dan Brindle
Designation: Director

Signature: [INSERT]

Date: [INSERT]

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- Appendix 1: Certificate of Title and Deposited Plan
- Appendix 2: Plans of Proposed Works
- Appendix 3: Heritage Impact Statement
- Appendix 4: Erosion Sediment Control Plan
- Appendix 5: Traffic Management Plan
- Appendix 6: Heritage Exemption Certificate
- Appendix 7: AHIMS Search Report
- Appendix 8: Section 10.7 Certificate

1. INTRODUCTION

1.1 Background

BBC Consulting Planners has been engaged by Waverley Council (“Council”) to undertake this Review of Environmental Factors (“REF”) to investigate the potential environmental impacts associated with a new ash interment memorial structure along Quinn Road (internal) at Waverley Cemetery (“the Cemetery”) located at St. Thomas Street, Bronte (“the site”).

The proposed works relate to the construction of new columbarium walls for the purpose of ash interment memorial and associated landscape interface works along the eastern landscape verge of Quinn Road.

The purpose of the proposal is:

- to provide Waverley Cemetery with a series of high-quality niche walls and memorial garden beds for ash interment along Quinn Road along with landscape treatments and spaces for reflection; and
- to provide an identifiable precinct within Waverley Cemetery that meet the needs of the local community both now and in the future.

This REF has been prepared in accordance with Division 5.1 of Part 5 of the *Environmental Planning and Assessment Act 1979* (“EP&A Act”), which requires Waverley Council (“Council”), as a self-determining authority, to consider to the fullest extent possible the potential environmental impacts of any proposed activity.

This REF has also been prepared in accordance with sections 170 and 171 of the *Environmental Planning and Assessment Act Regulation 2021* (“the Regulation”) which details elements to be considered when assessing the potential impact of an activity on the environment.

1.2 Purpose of Review of Environmental Factors

The purpose of this REF is to:-

- describe the land to which the proposal relates;
- describe the characteristics of the surrounding locality and in particular adjoining and adjacent development;
- define the statutory planning framework within which the proposal is to be assessed and determined;
- describe the proposal; and
- assess the proposal in light of the likely impact of the activity on the environment in accordance with Part 5 of the EP&A Act and the accompanying Regulation.

Throughout this assessment, where potential environmental impacts have been identified, these impacts have been analysed, evaluated and appropriate mitigation measures have been developed to minimise the extent of impact.

1.3 Accompanying Documentation

This REF is accompanied by the following supporting documentation:

- Certificate of Title and Deposited Plan (see **Appendix 1**);
- Plans of Proposed Works (see **Appendix 2**);
- Heritage Impact Statement (see **Appendix 3**);
- Erosion Sediment Control Plan (see **Appendix 4**);
- Traffic Management Plan (see **Appendix 5**);
- Heritage Exemption Certificate (see **Appendix 6**);
- AHIMS Search Report (see **Appendix 7**); and
- Section 10.7 Certificate (see **Appendix 8**)

Subject to the implementation of the safeguards as stipulated in Section 5 of this REF and the mitigation measures in Section 7 of this REF, the development will not have an adverse impact on the environment, as considered under Section 5.5 of the EP&A Act.

2. THE SITE AND CONTEXT

2.1 Location

The site is located between Trafalgar Street (north), Boundary Street East (south) and St Thomas Street/ Fig Tree Lane (west). The eastern boundary of the site adjoins the Coogee to Bondi coastal walk, located above the eastern edge of the escarpment (see **Figure 1**). The part of the site this REF relates to is Quinn Road, an internal access road located in the western half of the site between Trumper Avenue and Hargrave Avenue.

The general relationship between the site and the surrounding area is evident from the aerial photographs in **Figures 3A** and **3B**.

2.2 Land Owner/ Manager

The site comprises Lot 1877 in DP 1173589 and is owned and managed by Waverley Council (see **Figure 2**). A certificate of title and deposited plan for the site are provided in **Appendix 1**.

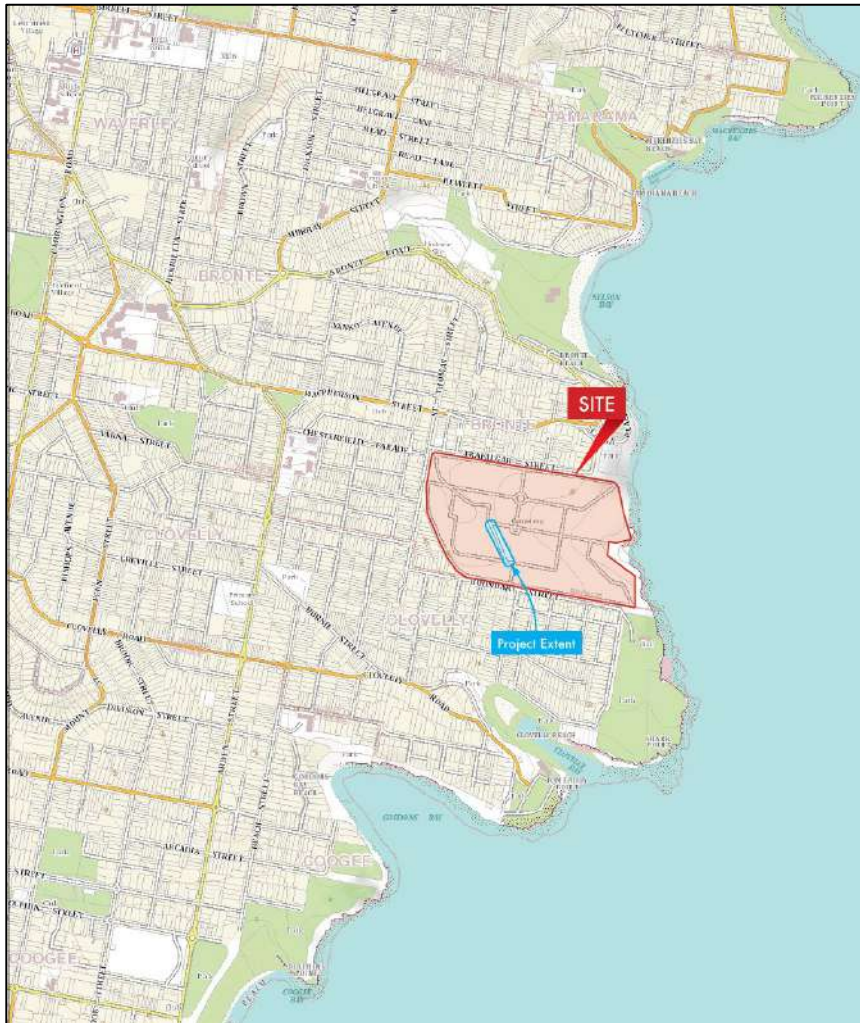


Figure 1: Location

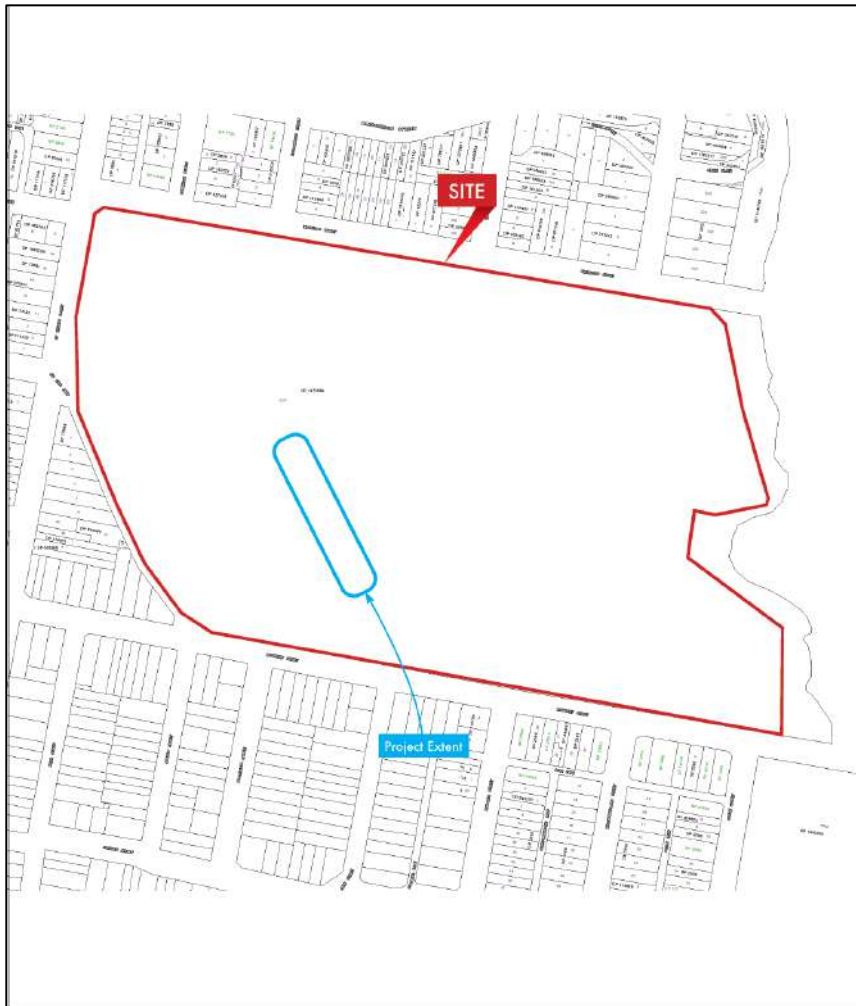


Figure 2: Site

2.3 Site Area, Frontages and Topography

The site is irregular in shape and has an area of approximately 17.1 hectares (ha). The site has a frontage to Trafalgar Street (north) of approximately 513 metres, Boundary Street East (south) of 429.96 metres and Thomas Street (west) of 157.14 metres. The proposed works are to take place on a small part of the site located near the centre of the site as shown on **Figures 1 to 3**.

The site slopes steeply from its north-west corner, at the entrance to the cemetery from St Thomas Street (66 metres AHD) to the eastern boundary alignment with the Coogee to Bondi coastal path (20 metres AHD). The topography of Quinn Road is generally flat (52 metres AHD) but steeply sloping downwards to the east.

As a result of the topography of the site, panoramic, uninterrupted views of the eastern headland and Tasman Sea are provided from numerous vantage points throughout Waverley Cemetery. The existing sandstone, retaining wall that delineates the western side of Quinn

Road provides an elevated platform (accessible by two sets of stone steps built into the wall) for pedestrians to enjoy views over the cemetery (see **Photo 2** and **Photo 3**).

2.4 Vegetation

There are a number of mature trees and distinct landscaped areas throughout the site as well as individual planting and landscape details relating to the wide and varied range of lots, vaults and other interment structures. Existing Conifer trees located along the north eastern edge of Quinn Road will be retained (see **Photo 1**).

The cemetery grounds are also identified as 'Waverley Cemetery Landscape Conservation Area' (C66) pursuant to Schedule 5 of the Waverley Local Environmental Plan (LEP) 2012. .



Figure 3A: Aerial Image

Figure 3B: Aerial Image (wider view)

2.5 Access

Vehicular access to the site is provided in the north-west corner of the site from St Thomas Street. There are multiple points of entry for pedestrians along Trafalgar Street, Boundary Street and the Coogee to Bondi Coastal Walk (see **Figure 4**). The cemetery is open at all times and is a popular walking route for locals and dog walkers. Vehicular access is controlled via the main gates at St Thomas Street which are opened and closed at sunrise and sunset respectively.

2.6 Surrounding Development

The site is located within the suburb of Bronte just north of Clovelly and to the south of Tamarama, three populous suburbs located within the eastern suburbs of Sydney.

The area surrounding the site to the north, south and west is primarily residential with some commercial uses mainly focused on the eastern end of Macpherson Street. To the east, land

uses are typically recreational and open space. The Coogee to Bondi coastal walk mirrors the eastern boundary of the site and is very popular with locals and tourists (see **Figures 3A** and **3B**). The southern boundary of the site (Boundary Street) denotes the Local Government Area (LGA) boundary with Randwick LGA.

The general relationship between the site and the surrounding area is evident from the aerial photographs in **Figures 3A** and **3B**.



Figure 4: Circulation and Access Plan (source: *Waverley Cemetery Master Plan – Group GSA June 2018*)

2.7 Heritage Status

The entirety of the site is identified as a State Heritage Item (reference: SHR #01975) pursuant to the Heritage Act 1977 and is recognised for its importance to the people of NSW. The grounds of the cemetery are also identified as ‘Waverley Cemetery Landscape Conservation Area’ (C66) pursuant to Schedule 5 of Waverley LEP 2012. Two standalone sandstone buildings are listed separately as an item of local heritage significance (I343) and are described as *“Two gothic derived styling, rusticated stone buildings within Waverley Cemetery”* pursuant to Schedule 5 of Waverley LEP 2012 (see **Figure 5**), however, these are not located in the vicinity of the project site. In close proximity to the site, at the main gates along St Thomas Street are locally listed *“Granite Horse Troughs”* (I515). The register of the National Trust of Australia (NSW) lists places which are components of the natural and cultural environment of Australia, that have aesthetic, historic, scientific or social significance. Waverley Cemetery has been classified by the National Trust given it is the final resting place of historic personages including Henry Kendall (poet), Henry Lawson (writer), Victor Trumper (cricketer) and David Flechter (first mayor of Waverley).

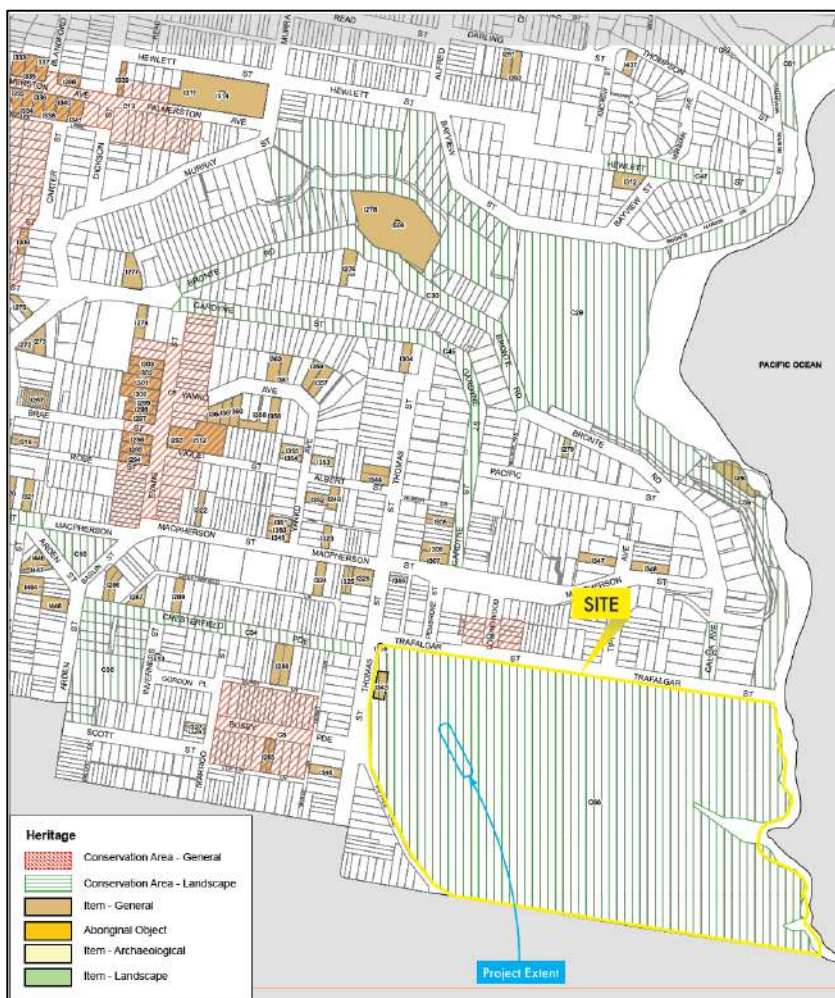


Figure 5: Heritage Map – Waverley LEP 2012

2.8 Recent Planning History

According to Waverley Council DA Tracker, there is no relevant or recent planning history relating to the site.

2.9 Site Photos

A selection of site photos is provided below and overleaf.



Photo 1: Quinn Road (the site) viewed to the south-east.



Photo 2: Elevated views to the east (along Hargrave Avenue) to the Tasman Sea from the sandstone wall located on the western edge of the site.



Photo 3: Elevated views to the south-east (along Quinn Road) at the junction with Hargrave Avenue from the sandstone wall located on the western edge of the site.



Photo 4: View (along Quinn Road) of existing sandstone wall, kerb, gutter and asphalt condition.



Photo 5: View (along Quinn Road) of existing landscape interface condition.



Photo 6: Quinn Road (the site) viewed to the north-west.



Photo 7: Elevated views (along Quinn Road) to the north-west from the sandstone wall located on the western edge of the site.

3. THE PROPOSAL

3.1 Objectives of the Proposal

The purpose of the proposal is:-

- to provide Waverley Cemetery with a series of high-quality niche walls and memorial garden beds for ash interment along Quinn Road along with associated landscape treatments and spaces for reflection; and
- to provide an identifiable precinct within the Waverley Cemetery that meet the needs of the community both now and in the future.

3.2 Need for the Proposal

It is estimated that Cemeteries that have served the people of Sydney for more than a century, including Rookwood, Botany, Field of Mars and Macquarie Park are now in their final years of capacity and will have to close to new burials within 10 – 12 years. The immediate need to plan for burial/interment space is evident, without action, the shortage of burial space will have major implications for NSW and its residents. As supply decreases and demand increases, the average cost of burials is likely to become unaffordable for some sections of the community, impeding families and communities from burying loved ones in accordance with their religious customs.

Metropolitan Sydney alone accounts for 47.6% of all NSW burials and cremations. On average, in NSW, cremation (68.7%) is the desired mode of disposition particularly in higher population density areas along the coast compared to burials (31.3%).

Therefore, the need to provide increased ash interment space within existing cemetery assets in the metropolitan areas of Sydney is critical. The proposal seeks to address this deficiency and provide for an additional 720 ash interments.

3.3 Alternate Options

Various design options were considered during the concept development stage including the addition of new gardens, various columbarium wall arrangements, heights and materials. Alternate arrangements for the road corridor were also considered. The proposed design integrates all functional, heritage and funeral requirements considered in the proposed design for this area outlined in the masterplan.

3.4 Summary of Proposed Works

The proposed works, the subject of this REF, are comprised of the construction of columbarium memorialisation walls for the purpose of ash interment and associated landscaping interface works. The proposed works will include the following components:

- Retention of existing sandstone wall, gutter, kerb and access stairs on western side of Quinn Road;
- Repointing of existing sandstone heritage wall (if required);

- Construction of twenty (20) new columbarium walls along the western edge of Quinn Road with thirty six (36) niches per wall for the purpose of ash interment;
- Existing garden and planting on eastern side of Quinn Road supplemented with new native planting and integrated with existing interments;
- New entry pavement threshold to precincts with removable bollards;
- Existing asphalt paving regraded to include interpretation in pavement;
- Bronze inlay interpretation panels demarking boundaries of interment structures;
- Removable bollards located at the northern and southern ends of Quinn Road; and
- New signage and interpretation panels.

3.4.1 Signage

Discrete interpretative and wayfinding signage will be integrated into the proposed works to express existing qualities of the site and specifically the themes of poets buried throughout Waverley Cemetery. A singular and discrete signage element will be installed at the north and south of Quinn Road to aid the visitor experience and to locate interment locations.

3.4.2 Excavation

Footings for each columbarium wall will be minimised to mitigate any construction impact to the existing retaining wall. Nominally, the footing depth will range from 200-500mm below the finished surface.

3.5 Design, Form and Materials

The proposed works have been designed to positively integrate into the existing built form and character of the site. The columbarium walls have been designed to reflect the heritage significance of Waverley Cemetery utilising a sandstone finish with bronze cover plates and complimented by coastal native planting. The proposed columbarium walls will be offset by approximately 900mm from the existing sandstone retaining wall and access steps located on the western side of Quinn Road to allow for interpretation and maintenance where necessary. The existing asphalt finish on Quinn Road will be regraded and formed into sections, demarked by brushed bronze interpretation panels either side of the columbarium walls. A schedule of proposed materials and finishes is provided in the accompanying plans (see **Appendix 2**).

3.6 Height

The proposal complies with the maximum height limit for the site of 8.5 metres pursuant to Clause 4.3 of Waverley LEP 2012. The height of the proposed columbarium walls will be confirmed subject to further detailed design development. The height of the proposed columbarium walls will not exceed the height of the existing sandstone retaining wall located on the western side of Quinn Road.

3.7 Landscaping

A landscape plan is provided in **Appendix 2**. The new landscaping works will augment the existing verdant landscaping setting of the cemetery and provide opportunities for peaceful reflection within a pleasant environment. The landscaping scheme comprises planting of local and native species within existing garden spaces located on the eastern side of Quinn Road.

3.8 Tree Management

It is proposed that the existing Conifer tress located in the garden spaces along the eastern side of Quinn Road will be retained. No tree pruning or removal works are proposed.

3.9 BCA Compliance

The proposal will readily comply with all relevant Australian Standards (AS) and the National Construction Code (NCC).

3.10 Accessibility

The proposal will improve overall accessibility within Quinn Road which, in its current state, is uneven and sloping (downwards) from west to east. The proposal will readily comply with all relevant Australian Standards and the National Construction Code.

3.11 Stormwater Management

An Erosion and Sediment Control Plan (ESCP) is provided in **Appendix 4**. Sediment fences will be installed on the eastern side of Quinn Road and adjusted accordingly to the contours of the site. Mesh and gravel inlet filters will be installed around the perimeter of existing drains and downstream of the proposed works area.

3.12 Waste Management

Construction waste associated with the proposal will be managed by the principal contractor in accordance with a detailed Construction Management Plan (CMP). There will be no fundamental differences associated with the operational waste management practices of the Cemetery as a result of the proposal which are well established and will continue to be implemented by Cemetery staff.

3.13 Hours of Operation

Waverley Cemetery is accessible by pedestrians 24 hours a day, seven days a week, year round. Vehicular access to the cemetery is restricted to daytime hours with the main gate (St Thomas Street) being opened and closed at sunrise and sunset respectively each day.

The Cemetery operates a policy of being open to the general public at all times for their use and enjoyment. The proposed development will have no impact on the wider operation of the cemetery. Ash interment memorial services will take place during daylight hours and will be managed and allocated by Cemetery management.

3.14 Vehicular Access

A Traffic Impact Assessment is provided in **Appendix 5**. The road network within Waverley Cemetery generally reflects development over time and the undulating topography of the site. The site is accessible by vehicle from the north – west corner of the site at the intersection of St Thomas Street and Trafalgar Street. The cemetery is not a thoroughfare, all vehicles enter and exit via the main gate. Speed limits are restricted to 15km/h and there are no parking controls on any of the internal roads. Vehicle users tend to be private mourners, contractors and cemetery staff. The predominant mode of transportation throughout the site is by pedestrians.

The area of the proposed works, is approximately 100 metres long and 3.5 metres wide. It allows for one-way vehicular traffic movement only and provides ample space for pedestrians. Removable bollards will be installed either side of Quinn Road and will provide vehicular access (when required) for maintenance and memorial services.

3.15 Car Parking

Limited car parking spaces are provided at the main entrance of the Cemetery off St Thomas Street. These spaces are predominately utilised by cemetery staff and maintenance contractors. There are no parking restrictions throughout the cemetery, and often elderly visitors will park at the side of the road in order to carry out personal maintenance to interments. No car parking is proposed along Quinn Road.

3.16 Construction Management

Construction Management will be carried out in accordance with a detailed Construction Management Plan (CMP). Matters relating to construction management can be suitably conditioned. Standard construction hours will be observed. Construction is expected to commence in late 2024 and the duration of the works will be approximately six (6) months.

4. STATUTORY REQUIREMENTS

4.1 Cemeteries and Crematoria Act 2013

The *Cemeteries and Crematoria Act 2013* provides a legislative framework for matters relating to the right of all individuals to a dignified and respected interment after death. The Act provides for the operation of a consistent and coherent regime for the governance and regulation of cemeteries and crematoria. The objectives of the Act are as follows:

“3 Objects of Act

The objects of this Act are as follows—

- (a) to recognise the right of all individuals to a dignified interment and treatment of their remains with dignity and respect,*
- (b) to ensure that the interment practices and beliefs of all religious and cultural groups are respected so that none is disadvantaged and adequate and proper provision is made for all,*
- (c) to ensure that sufficient land is acquired and allocated so that current and future generations have equitable access to interment services,*
- (d) to provide for the operation of a consistent and coherent regime for the governance and regulation of cemeteries and crematoria,*
- (e) to ensure that the operators of cemeteries and crematoria demonstrate satisfactory levels of accountability, transparency and integrity,*
- (f) to ensure that cemeteries and crematoria on Crown land are managed in accordance with the principles of Crown land management specified in section 1.4 of the [Crown Land Management Act 2016](#),*
- (g) to promote environmental sustainability of the interment industry, including provision for natural and private burials,*
- (h) to promote that cost structures for burials and cremations are transparent across all sectors of the interment industry,*
- (i) to promote affordable and accessible interment practices, particularly for those of limited means.”*

The proposal is relevantly consistent with the objectives of the Act as it will ensure that sufficient land is allocated for current and future generations to have equitable access to interment services suitable for all religious and cultural beliefs.

4.2 National Parks and Wildlife Act 1974

An Aboriginal Heritage Information Management System (AHIMS) search was undertaken on 8 February 2024 and an Aboriginal site of interest was recorded as being located within the boundaries of the cemetery (see **Appendix 7**) however, not in close proximity to the development site. Before carrying out any on-ground work or activity thought must be given to how it might affect Aboriginal sites. For some activities, the National Parks and Wildlife Act

1974 requires the exercise of due diligence to see if Aboriginal sites might be harmed by activities. Checking the AHIMS is part of this due diligence.

In accordance with the Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales, an Aboriginal Heritage Impact Permit (AHIP) is not required if the activity is not being carried out in an Aboriginal Place and the proposed activity (development) is low impact. The proposal is not being carried out in an Aboriginal Place and is of low impact.

4.3 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (“EP&A Act”) establishes the legislative system for environmental planning and assessment in NSW. Part 5 of the EP&A Act specifies the environmental impact assessment requirements for activities which are permissible without development consent and, therefore, do not require an approval under Part 4 of the EP&A Act.

Section 5.5 of the EP&A Act requires the determining authority to “*examine and take into account to the fullest extent possible all matters affecting or likely to affect the environment by reason of that activity.*” Accordingly, a Review of Environmental Factors (REF) is to be prepared to document this consideration of the activity’s impact. Consideration must also be given to the factors under sections 170 and 171 of the Environmental Planning and Assessment Act Regulation 2021 (“the Regulation”).

A determining authority shall not carry out an activity or grant an approval in relation to an activity that is likely to significantly affect the environment, or a prescribed activity unless an environmental impact statement in respect of the activity has been examined and considered.

Under the EP&A Act, “determining authority” means:

“a Minister or public authority and, in relation to any activity, means the Minister or public authority by or on whose behalf the activity is or is to be carried out or any Minister or public authority whose approval is required in order to enable the activity to be carried out.”

“Proponent” in relation to an activity is defined in the EP&A Act as:

“the person proposing to carry out the activity, and includes any person taken to be the proponent of the activity by virtue of section 5.3.”

As such, the proponent of the proposal, Waverley Council, is the determining authority for the works.

Section 171 of the Regulation prescribes the factors which must be considered when determining if an activity is likely to have a significant impact on the environment. **Section 5** of this REF provides an assessment of the environmental impacts of the proposal and the factors prescribed in Section 171 of the regulations are considered in full in **Section 6**.

4.4 State Environmental Planning Policies

4.4.1 State Environmental Planning Policy (Transport and Infrastructure) 2021

Section 2.10 of State Environmental Planning Policy (Transport and Infrastructure) 2021 (“Transport and Infrastructure SEPP”) applies to development being carried out by or on behalf

of a public authority that may be carried out without consent that could impact on council-related infrastructure or services. Section 2.10 relevantly states:

“2.10 Consultation with councils—development with impacts on council-related infrastructure or services

(1) This section applies to development carried out by or on behalf of a public authority that this Chapter provides may be carried out without consent if, in the opinion of the public authority, the development—

- (a) will have a substantial impact on stormwater management services provided by a council, or*
- (b) is likely to generate traffic to an extent that will strain the capacity of the road system in a local government area, or*
- (c) involves connection to, and a substantial impact on the capacity of, any part of a sewerage system owned by a council, or*
- (d) involves connection to, and use of a substantial volume of water from, any part of a water supply system owned by a council, or*
- (e) involves the installation of a temporary structure on, or the enclosing of, a public place that is under a council’s management or control that is likely to cause a disruption to pedestrian or vehicular traffic that is not minor or inconsequential, or*
- (f) involves excavation that is not minor or inconsequential of the surface of, or a footpath adjacent to, a road for which a council is the roads authority under the [Roads Act 1993](#) (if the public authority that is carrying out the development, or on whose behalf it is being carried out, is not responsible for the maintenance of the road or footpath).*

(2) A public authority, or a person acting on behalf of a public authority, must not carry out development to which this section applies unless the authority or the person has—

- (a) given written notice of the intention to carry out the development (together with a scope of works) to the council for the area in which the land is located, and*
- (b) taken into consideration any response to the notice that is received from the council within 21 days after the notice is given.”*

Waverley Council is the relevant public authority carrying out the proposed development, whilst internal consultation is integral part of the process, the proposed development is not considered to have any significant impact on Council infrastructure or services such as stormwater management systems, roads & traffic, sewerage, water supply, footpaths or any other Council owned entity.

Section 2.11 of the Transport and Infrastructure SEPP 2021 applies to development being carried out by or on the behalf of a public authority, in this case being Waverley Council if that development is likely to have an impact on local heritage. Section 2.11 relevantly states:

2.11 Consultation with councils—development with impacts on local heritage

(1) This section applies to development carried out by or on behalf of a public authority if the development—

(a) is likely to affect the heritage significance of a local heritage item, or of a heritage conservation area, that is not also a State heritage item, in a way that is more than minor or inconsequential, and

(b) is development that this Chapter provides may be carried out without consent.

(2) A public authority, or a person acting on behalf of a public authority, must not carry out development to which this section applies unless the authority or the person has—

(a) had an assessment of the impact prepared, and

(b) given written notice of the intention to carry out the development, with a copy of the assessment and a scope of works, to the council for the area in which the heritage item or heritage conservation area (or the relevant part of such an area) is located, and

(c) taken into consideration any response to the notice that is received from the council within 21 days after the notice is given.”

Waverley Cemetery is a State Heritage Item (reference: SHR #01975) pursuant to the Heritage Act 1977 and is recognised for its importance to the people of NSW. The grounds of the cemetery are also identified as ‘Waverley Cemetery Landscape Conservation Area’ (C66) pursuant to Schedule 5 of Waverley LEP 2012.

A Heritage Impact Assessment accompanies this report and is provided in **Appendix 3**. The overall heritage impact is positive as the proposal provides further opportunities for interpretation, retains the road reserve and immediate curtilage and provides further interments as carefully considered supplementary elements within the heritage values of place.

4.4.2 State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 2 of State Environmental Planning Policy (Resilience and Hazards) 2021 prescribes development controls in relation to the management of land within the coastal zone, consistent with the objects of the Coastal Management Act 2016 to ensure the protection of environmental assets on the coast. Part of the site is located within the Coastal Environment Area (see **Figure 6A**) and the Coastal Use Area (see **Figure 6B**).

Section 2.10 of the Resilience and Hazards SEPP 2021 prescribes controls relating to land within the Coastal Environment Area and states as follows:-

“2.10 Development on land within the coastal environment area

(1) Development consent must not be granted to development on land that is within the coastal environment area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on the following—

(a) the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment,

(b) coastal environmental values and natural coastal processes,

(c) the water quality of the marine estate (within the meaning of the Marine Estate Management Act 2014), in particular, the cumulative impacts of the proposed development on any of the sensitive coastal lakes identified in Schedule 1,

(d) marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms,

(e) existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,

(f) Aboriginal cultural heritage, practices and places,

(g) the use of the surf zone.

(2) Development consent must not be granted to development on land to which this section applies unless the consent authority is satisfied that—

(a) the development is designed, sited and will be managed to avoid an adverse impact referred to in subsection (1), or

(b) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or

(c) if that impact cannot be minimised—the development will be managed to mitigate that impact.

(3) This section does not apply to land within the Foreshores and Waterways Area within the meaning of State Environmental Planning Policy (Biodiversity and Conservation) 2021, Chapter 6.”

The proposal will remain consistent with these objectives and will have no adverse impact on the coastal environment, its natural processes, the hydrological conditions, marine biodiversity, Aboriginal heritage or the water quality of Sydney Harbour. The proposal is suitable in this regard.

Section 2.11 of the Resilience and Hazards SEPP 2021 prescribes controls relating to land within the Coastal Use Area and states as follows:-

“2.11 Development on land within the coastal use area

(1) Development consent must not be granted to development on land that is within the coastal use area unless the consent authority—

(a) has considered whether the proposed development is likely to cause an adverse impact on the following—

(i) existing, safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,

(ii) overshadowing, wind funnelling and the loss of views from public places to foreshores,

(iii) the visual amenity and scenic qualities of the coast, including coastal headlands,

(iv) Aboriginal cultural heritage, practices and places,

(v) cultural and built environment heritage, and

(b) is satisfied that—

(i) the development is designed, sited and will be managed to avoid an adverse impact referred to in paragraph (a), or

(ii) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or

(iii) if that impact cannot be minimised—the development will be managed to mitigate that impact, and

(c) has taken into account the surrounding coastal and built environment, and the bulk, scale and size of the proposed development.

(2) This section does not apply to land within the Foreshores and Waterways Area within the meaning of State Environmental Planning Policy (Biodiversity and Conservation) 2021, Chapter 6."

The proposed development is also broadly consistent with these objectives and will not restrict access to the foreshore, create inappropriate overshadowing impacts, reduce the visual or scenic quality of the coast or impact on Aboriginal, cultural or environmental heritage.



Figure 6A: Coastal Environment Map – Resilience and Hazards SEPP 2021

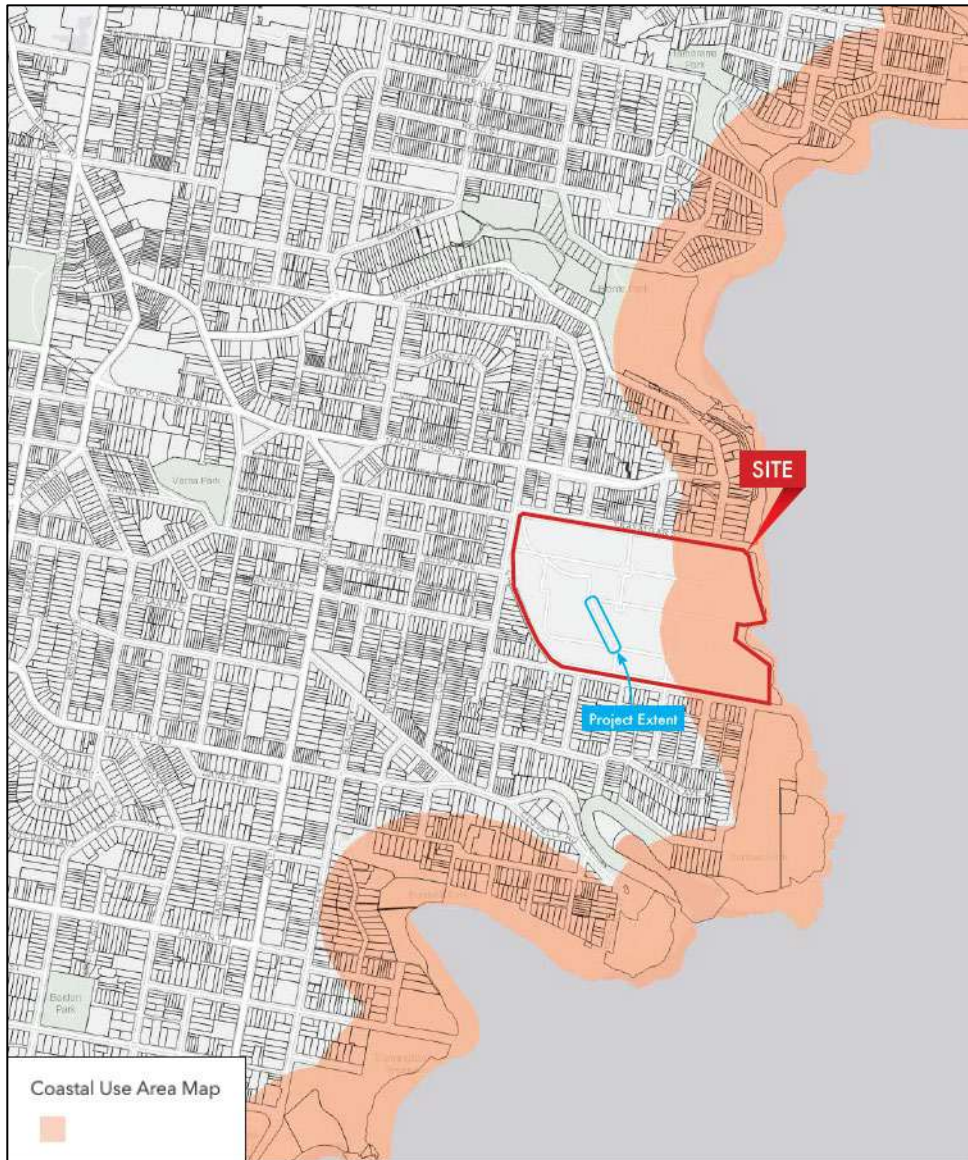


Figure 6B: Coastal Use Area Map – Resilience and Hazards SEPP 2021

Chapter 4 of *State Environmental Planning Policy (Resilience and Hazards) 2021* deals with the remediation of land. The aims of this Chapter are to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment—

- (a) by specifying when consent is required, and when it is not required, for a remediation work, and
- (b) by specifying certain considerations that are relevant in rezoning land and in determining development applications in general and development applications for consent to carry out a remediation work in particular, and
- (c) by requiring that a remediation work meet certain standards and notification requirements.

Clause 4.6(1) of the SEPP states:-

“(1) A consent authority must not consent to the carrying out of any development on land unless—

(a) it has considered whether the land is contaminated, and

(b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and

(c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.”

Waverley Cemetery was consecrated in 1877 and has continued to function as an active burial ground since. Prior to its establishment and before European settlement, the lands between Port Jackson and Botany Bay were inhabited by the Cadigal People. Therefore, the potential for contamination on the site is very low.

The proposed development will require minimum earthworks to regrade the existing asphalt road surface and create foundations for the freestanding columbarium walls. The proposed development will not result in significant ground disturbance.

4.4.3 State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 6 of State Environmental Planning Policy (Biodiversity and Conservation) 2021 prescribes controls relating to development within the Sydney Harbour Catchment. The site is not located within the Sydney Harbour catchment, therefore, Chapter 6 of the Biodiversity and Conservation SEPP 2021 is not relevant for the determination of this application.

4.5 Exempt and Complying Development within Existing Cemeteries – Explanation of Intended Effect (EIE)

The Department of Planning and Environment (“DPE”) is proposing to introduce an exempt and complying development framework for minor works to existing cemeteries including maintenance and ancillary development by amending the Transport and Infrastructure SEPP 2021. An Explanation of Intended Effect (“EIE”) was publicly exhibited between October and November 2023 and is now under consideration by DPE. The proposed changes to the Transport and Infrastructure SEPP seek to enable cemeteries to be able to carry out minor, low impact works including: ash gardens, construction of small buildings, demolition work, driveways and car parks, earthworks, landscaping (including structures), signage, vaults, sculptures and columbarium’s (amongst other things).

The proposal includes many of these elements and should the proposed changes to the Transport and Infrastructure SEPP 2021 be gazetted, could, be carried out as exempt or complying development.

4.6 Waverley Local Environmental Plan (“LEP”)2012

The site is zoned SP2 Infrastructure – Cemetery pursuant to Waverley LEP 2012 (see **Figure 7**).

The objectives of the SP2 Infrastructure zone are as follows:-

- *“To provide for infrastructure and related uses.*
- *To prevent development that is not compatible with or that may detract from the provision of infrastructure.”*

The proposed development is consistent with the objectives of the SP2 Infrastructure – Cemetery Zone and provides for infrastructure related to the use of the site as a cemetery. The Development is entirely compatible with the use of the land and does not detract from the provision of infrastructure.

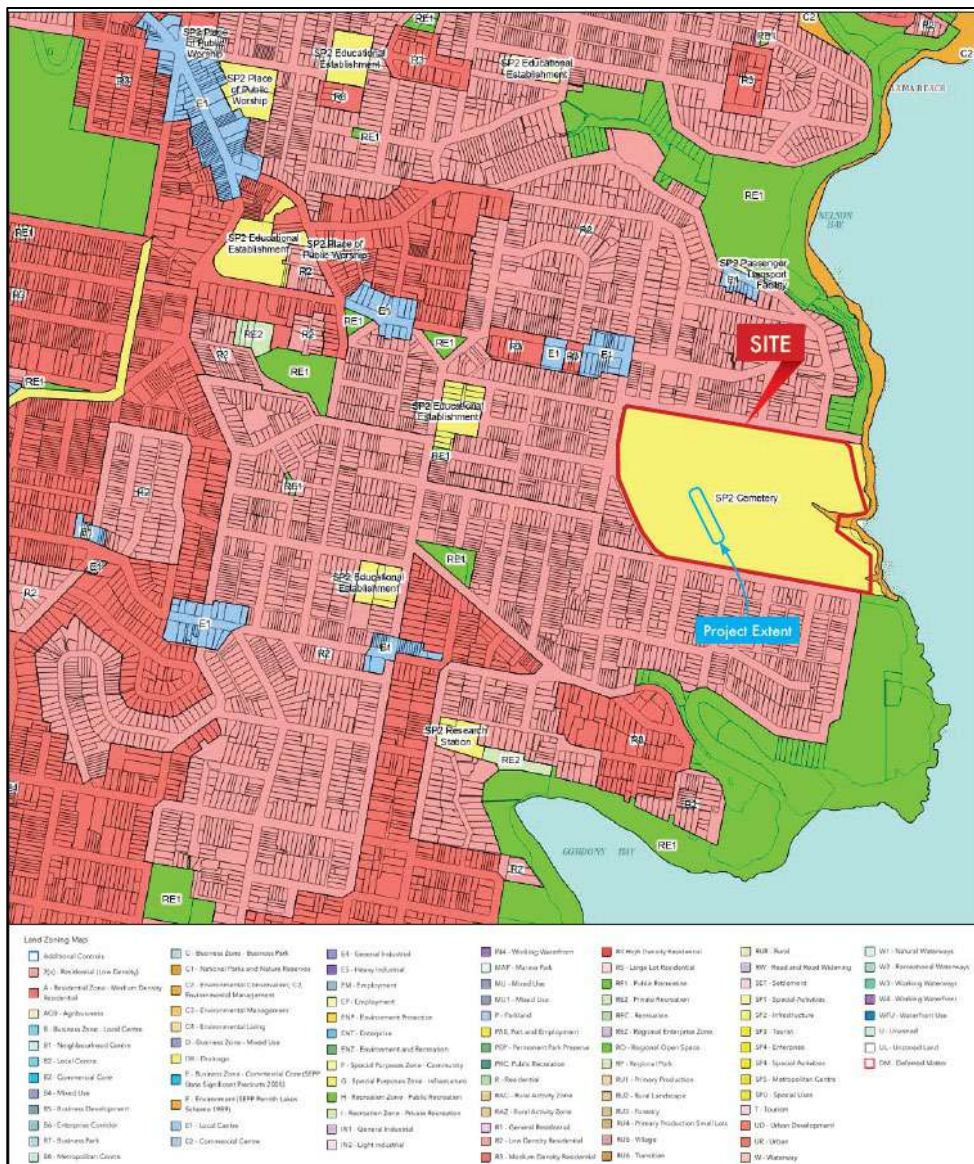


Figure 7: Zoning Map – Waverley LEP 2012

4.6.1 Heritage Conservation (Clause 5.10)

Clause 5.10 of Waverley LEP 2012 sets out provisions for the conservation of Heritage Items and Heritage Conservation Areas that are listed and described in Schedule 5 of the LEP. The site is described in Schedule 5 of Waverley LEP 2012 as “Waverley Cemetery Landscape Conservation Area” (C66).

Clause 5.10(1) of Waverley LEP 2012 states as follows:

“(1) Objectives *The objectives of this clause are as follows—*

- (a) to conserve the environmental heritage of Waverley,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.”*

The proposed development is relevantly consistent with these objectives, it seeks to conserve the heritage significance of the State Heritage Item and the prevailing Landscape Conservation Area in a way that does not impact (in a material way) on the existing heritage fabric, setting or views.

Clause 5.10(2) sets out requirements for development consent and states as follows:

“(2) Requirement for consent *Development consent is required for any of the following—*

- (e) erecting a building on land—*
 - (i) on which a heritage item is located or that is within a heritage conservation area, or”*

Development consent is required to erect a building on land on which a Heritage Item is located or in a Heritage Conservation Area. The term “building” is defined in the EP&A Act 1979 as follows:

“building *includes part of a building, and also includes any structure or part of a structure (including any temporary structure or part of a temporary structure), but does not include a manufactured home, moveable dwelling or associated structure within the meaning of the Local Government Act 1993.”*

The proposed columbarium walls are considered to be a “building” in accordance with this definition. Erecting a building on land located within a Heritage Conservation Area, therefore, requires development consent pursuant to Clause 5.10(2)(e)(i) of Waverley LEP 2012 .

Notwithstanding this, Clause 5.10(3) of Waverley LEP 2012 sets out requirements for when development consent is not required and states as follows:

*“(3) **When consent not required** However, development consent under this clause is not required if—*

(a) the applicant has notified the consent authority of the proposed development and the consent authority has advised the applicant in writing before any work is carried out that it is satisfied that the proposed development—

(i) is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or archaeological site or a building, work, relic, tree or place within the heritage conservation area, and

(ii) would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or

(b) the development is in a cemetery or burial ground and the proposed development—

(i) is the creation of a new grave or monument, or excavation or disturbance of land for the purpose of conserving or repairing monuments or grave markers, and

(ii) would not cause disturbance to human remains, relics, Aboriginal objects in the form of grave goods, or to an Aboriginal place of heritage significance, or

(c) the development is limited to the removal of a tree or other vegetation that the Council is satisfied is a risk to human life or property, or

(d) the development is exempt development.”

In this regard, Council has issued a Heritage Exemption Certificate (see **Appendix 6**) which states as follows:

The Council is satisfied that the works are of a minor nature and would not adversely affect the heritage significance of the heritage conservation area and item provided that the following conditions are fulfilled:

1. The existing stone wall is to be assessed as to maintenance - this being completed and carried out prior to the new works.

2. The proposed planter beds at the ends of each section are to be detailed so that water does not flow into the base of the adjacent columbarium.

3. Each columbarium is to be located sufficiently out from the existing stone wall to enable maintenance and removal of rubbish, plant material etc likely to fall behind the columbarium.

These conditions can be satisfied and have been included in the proposed mitigation measures.

4.7 Waverley Cemetery Conservation Management Plan 2018

Waverley Cemetery Conservation Management Plan (“WCCMP”) 2018 was endorsed by NSW Heritage pursuant to Clause 38A of the Heritage Act 1977. The conservation policies outlined in the CMP are intended to assist the owners and consent authorities with the processes of conserving, repairing, maintaining and using the site. The overarching principles of the CMP policies are to provide guidance to deal with the key implications for retaining the significance of the site including:

- Recognise and retain heritage values;
- Conserve the place as a whole;
- Recognise all periods of the site history;
- Facilitate the adaption of the site for appropriate uses so as to ensure its current viability;
- Conserve and maintain significant building features and their functional and spatial relationships; and
- Conserve in accordance with significance.

The proposal is broadly consistent with these objectives. More specifically, the CMP notes that there is a need for the creation of additional ash interment space as cremation grows more popular and the more traditional burial sites at the cemetery are filled. The creation of additional interment space at the Cemetery will enhance the longevity of the State Heritage Item through increased revenue and will contribute towards its ongoing protection and maintenance for future generations.

4.8 Waverley Cemetery Masterplan 2018

Waverley Cemetery Masterplan 2018 is built upon the vision and values outlined by Council and other stakeholders, utilising many of the existing elements of the cemetery to improve the long term aesthetic and amenity of the area. The key objectives of the Masterplan are as follows:

- Identify relevant landscape, heritage and operational opportunities and constraints.
- Optimise the use of the land available within the site through the enhancement of existing amenities, improvements to circulation and added points of interest.
- Protect and respect environmental and cultural values through sensitive and sustainable outcomes and approaches.
- Provide strategic formwork for the enhancement and development; that is realistic, achievable and within reasonable resources available to the Council and community.

The proposal seeks to optimise the use of available land within the cemetery in a way that is sensitive to the unique landscape, heritage and cultural values of the site and is broadly

consistent with the objectives of the Masterplan. More specifically, Section 4.2.6 of the Masterplan envisages the establishment of a “green link” along Quinn Road to utilise its discreet environment as an area of enhanced amenity with defined places for people to walk, pause and sit. The Masterplan proposes a series of niche walls located along the wall edge of Quinn Road separated from the sandstone wall. The proposal has been designed to complement the Masterplan vision for the site and achieves all relevant design criteria.

4.9 Other relevant legislation

Other relevant legislation for consideration includes the following:

Table 1: Other Relevant legislation

Legislation	Comment
Biodiversity Conservation Act 2016	<p>Part 7 of the Act requires consideration of whether development is likely to significantly affect threatened species or ecological communities, or their habitats.</p> <p>The site is not located within an area of outstanding biodiversity value, nor does it contain any specialised endangered or threatened ecological communities and species.</p> <p>The proposed development will not have an impact on threatened species or ecological communities or their habitats in accordance with the criteria set out in Section 7.3 of the Biodiversity and Conservation Act 2016.</p> <p>The proposal will have a net positive impact on biodiversity through the inclusion of additional native planting.</p>
Contaminated Land Management Act 1997	<p>The general intention of the Contaminated Land Management Act 1997 (CLM Act) is to establish a process for investigating and (where appropriate) remediating the land that the EPA considers to be contaminated significantly enough to require regulation.</p> <p>Waverley Cemetery was consecrated in 1877 and has continued to function as an active burial ground since. Therefore, the potential for contamination on the site is very low.</p> <p>The proposed development will require minimum earthworks to regrade the existing asphalt road surface and create foundations for the freestanding columbarium walls. The proposed development will not result in significant ground disturbance.</p>

Legislation	Comment
Heritage Act 1977	<p>The entirety of the site is identified as an item of state heritage significance (reference: SHR #01975) for its historical, aesthetic, social and research significance.</p> <p>The site contains a heritage item and is located within the Waverley Cemetery Landscape Conservation Area (C66). A Heritage Impact Statement is provided in Appendix 3. According to this, the overall heritage impact is positive and the proposal <i>“provides opportunities for interpretation, retain the road reserve and immediate curtilage and provides further interments as carefully considered supplementary elements within the heritage values of place.”</i></p>
Protection of the Environment Operations Act 1997	The project does not include any activity listed under Schedule 1 of the Act and therefore, an Environment Protection Licence is not required.
Roads Act 1993	No prior approval is required under S138 of the Roads Act 1993 as the proposed works will not impact a public or classified road. Quinn Road is an internal road and its upkeep and management is the responsibility of Waverley Council.
Rural Fires Act 1997	The site is not bushfire prone land.
Waste Avoidance and Resource Recovery Act 2001	The project would be constructed and operated having regard to the requirements of the Act.

4.10 Statutory Position Conclusion

All relevant statutory planning instruments have been examined for the proposal. Pursuant to Section 5.10 (3) of the Waverley LEP 2012 , it is confirmed that this proposal is permissible without consent and therefore is subject to environmental impact assessment under Part 5 of the EP&A Act 1979. Under Division 5.1, the determining authority, Waverley Council, must consider the potential environmental impact that the development would have. This REF fulfils this requirement and addresses the issues listed under Section 171 of the *Environmental Planning and Assessment Regulation 2021*. Consideration is given to Section 171 in Section 6.1 of this REF.

5. REVIEW OF ENVIRONMENTAL FACTORS

5.1 Introduction

The proponent is required to consider the environmental impact of the proposal in accordance with the provisions of Section 5.5 of the EP&A Act 1979 and relevant factors listed in Section 171 of the *Environmental Planning and Assessment Regulation 2021*.

This section of the REF provides an assessment of potential environmental impacts of the proposal and where appropriate, offers mitigation measures to offset any of the impacts.

Table 2: Review of environmental factors

Existing Environment	Potential Impacts	Discussion	Mitigation
Aboriginal Heritage	N/A	<p>The proposed works relate entirely to the Quinn Road (internal) precinct within Waverley Cemetery. A Conservation Management Plan (CMP) dated May 2018 was endorsed by Council with the aim of identifying the historical and cultural significance of Waverley Cemetery and identifying opportunities for making the place more usable to ensure its future viability.</p> <p>According to the CMP, the Waverley Area formed part of the traditional lands of the Cadi-gal people. According to the Aboriginal Heritage Information Management System (AHIMS) it has been indicated the presence of Aboriginal sites within the curtilage of Waverley Cemetery is unlikely, however, the cliff face component of Waverley Cemetery has the potential to contain objects or sites of Aboriginal significance. An AHIMS search was undertaken on 8 February 2024 and an Aboriginal site of interest was recorded as being located within the boundaries of the cemetery (see Appendix 7) however, not in close proximity to the development site. In accordance with the Due Diligence Code of Practice for the Protection of</p>	<p>(1) Proceed works with caution.</p> <p>(2) If any aboriginal objects are found during works associated with the project, works must stop and Heritage NSW must be notified.</p> <p>(3) If human remains are found, works must stop and NSW Police and Heritage NSW must be notified.</p>

Existing Environment	Potential Impacts	Discussion	Mitigation
		<p>Aboriginal Objects in New South Wales, an Aboriginal Heritage Impact Permit (AHIP) is not required if the activity is not being carried out in an Aboriginal Place and the proposed activity (development) is low impact such is the case with the proposal.</p> <p>Due to the limited scope of ground works, and the location of the site, it is not considered that the proposed development will require an AHIP nor will it have any adverse impact on Aboriginal Heritage. For abundant caution, recognised mitigation measures consistent with the <i>Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales</i> are recommended.</p>	
Non-Aboriginal Heritage	Minor	<p>Waverley Cemetery was officially opened on 1 August 1877 and was originally comprised of 10 acres. The footprint of the cemetery extended as demands required and by the mid 20th century was densely developed. Rationalisation of the internal road network was undertaken in the 1950's to formalise pedestrian and vehicle connections, provide further space for lots and create the first memorial garden/ash interment in the central roundel.</p> <p>By 1970, the cemetery was nearing exhaustion for new unpurchased allotments. The Cemetery was identified for its heritage significance in 1993 and was listed as a State Heritage Item in 2016.</p> <p>There is little to no archaeological potential relating to the Quinn Road precinct as a</p>	Refer to Section 4.3 – Conservation Policies of HIS (see Appendix 3) prepared by Taylor Brammer.

Existing Environment	Potential Impacts	Discussion	Mitigation
		<p>result of its continuous use as a Cemetery. Quinn Road was formalised and has been used as a vehicle/ pedestrian connection from at least 1950.</p> <p>Waverley Cemetery (as a whole) is listed as a State Heritage Item (SHR#01975) pursuant to the Heritage Act 1977 and is recognised for its importance to the people of NSW. The grounds of the cemetery are also identified as 'Waverley Cemetery Landscape Conservation Area' (C66) pursuant to Schedule 5 of Waverley LEP 2012. Two standalone sandstone buildings are listed separately as an item of local heritage significance (I343) and are described as <i>"Two gothic derived styling, rusticated stone buildings within Waverley Cemetery"</i> pursuant to Schedule 5 of Waverley LEP 2012 (see Figure 4D), however, these are not located in the vicinity of the project site. In close proximity to the site, at the main gates to the cemetery, along St Thomas Street are locally listed <i>"Granite Horse Troughs"</i> (I515).</p> <p>The proposed development will be carefully scaled and will not diminish the heritage values of the place. To ensure there are no adverse impacts on the heritage significance of the site, the proposed development is recommended to be carried out generally in accordance with the conservation policies set out in the Waverley Cemetery Conservation Management Plan (CMP) (May 2018).</p>	
Arboriculture	N/A	The Quinn Road precinct, to which the proposed development relates does not contain any significant vegetation. No works to existing trees located on the	<p>(1) Proceed works with caution.</p> <p>(2) Trees adjacent or within four (4) metres of the</p>

Existing Environment	Potential Impacts	Discussion	Mitigation
		eastern side of Quinn Road are proposed. Landscaping interface works are proposed, however, this will not have any adverse impact on the Tree Protection Zone (TPZ) or Structural Root Zone (SRZ) of existing Conifer trees.	site and identified as medium to high retention value and potentially impacted by the development process require protection measures in accordance with the Australian Standard AS 4970 - Protection of Trees on Development Sites during the demolition and construction phases of development.
Flora and Fauna	N/A	The site is not identified as containing any terrestrial biodiversity. The site is located within a verdant, landscaped setting and adjoins small areas of existing allotment garden spaces on its eastern side. The proposed development will maintain the existing ecological environment of the site by protecting native flora and fauna and mitigating any adverse impacts associated with the construction of the proposed development.	None required.
Contaminated Land	N/A	Waverley Cemetery was consecrated in 1877 and has continued to function as an active burial ground since. Therefore, the potential for contamination on the site is very low. The proposed development will require minimum earthworks to regrade the existing asphalt road surface and create foundations for the freestanding columbarium walls. The proposed development will not result in significant ground disturbance. No contaminated land assessment or site remediation is required.	None required.

Existing Environment	Potential Impacts	Discussion	Mitigation
Geology and Soils	Minor	<p>The proposed development will require minimum earthworks to regrade the existing asphalt road surface and create foundations for the freestanding columbarium walls. The proposed development will not result in significant ground disturbance.</p> <p>The proposed development will have a negligible impact on the existing geology and soil profile of the site.</p>	Implement the erosion and sediment control measures outlined in the Civil Services Erosion and Sediment Control Plan and Details Drawing in Appendix 4 .
Sustainability	Minor	Waverley Council is committed to ensuring that this project is implemented in a manner consistent with the principles of ecologically sustainable development (ESD). These are defined under the provisions of Section 193 of the EP&A Regulation 2021.	Where appropriate, precautionary principles will be adopted. In the unlikely event that there are threats of serious or irreversible environmental damage, works will be postponed to prevent environmental degradation.
Flooding and Stormwater Management	Minor, temporary impacts	<p>The site is located in a highly urbanised area with an established drainage network. In accordance with the Section 10.7 Certificate (see Appendix 8) the site is not located within the current flood planning area and is not subject to adopted flood related development controls. Furthermore, the site is not located within the draft flood planning area and is not subject to any draft development controls pursuant to the draft Waverley Development Control Plan (Flood Amendment).</p> <p>Waverley Cemetery has an existing functional drainage network suitable to cater for the proposed works</p> <p>There are no concerns regarding the current stormwater management as the proposal</p>	Implement the erosion and sediment control measures outlined in the Civil Services Erosion and Sediment Control Plan and Details Drawing in Appendix 4 .

Existing Environment	Potential Impacts	Discussion	Mitigation
		<p>does not increase runoff through additional hardstand areas.</p> <p>When ponding occurs at the southern end of the site, this does not impact the operation of site. Hence, the retention of the current stormwater management (kerb and gutter) is recommended, as upgrading the pit and pipe stormwater system is costly and would involve works beyond the scope area.</p> <p>The existing stone kerb and gutter on both sides of Quinn Road will be maintained.</p> <p>As the proposed development will not intensify development on the site and will improve the permeability of hard surfaces in Quinn Road, the stormwater runoff impacts on the site are considered to be negligible.</p> <p>The existing stormwater management arrangement is not expected to change as a result of the proposed development.</p>	
Vehicular Access, Parking and Traffic Movement	Minor, temporary impacts	<p>The proposed development will not result in any changes to the existing allocation of parking on the site. Parking is provided at the main entrance to the site and is primarily utilised by members of staff or maintenance contractors. Informal parking is available on internal roads throughout the cemetery in all areas unless otherwise signposted. For patrons and staff requiring access (by vehicle) to Quinn Road, parking will still be made available on Hargrave Avenue (north) and Trumper Avenue (south). There will be no through road access available on Quinn Road as a result of the proposal except for maintenance contractors and other specialist</p>	<p>Vehicular Access and Traffic Movement associated with the proposed development will be managed in accordance with Council guidelines in relation to the establishment of a works zone and in accordance with the CMP.</p>

Existing Environment	Potential Impacts	Discussion	Mitigation
		<p>requests. The proposed development will not result in an increased demand for car parking on the site or trip generation. There will be a negligible impact on parking as a result of the proposed development.</p> <p>There will be some minor, additional temporary traffic movement and access impacts as a result of construction activity. No parking will be made available on Quinn Road for vehicles other than those vehicles delivering and or picking up goods. Contractors who are unable to utilise existing parking at the main entrance will be required to park off site or utilise ample public transport connections.</p>	
Acoustic Impacts	Minor, temporary impacts	<p>The proposed development will result in some minor temporary impacts in terms of construction noise. The works will be limited to Quinn Road to the west of the Waverley Cemetery site and is well separated from residential occupiers to the south by approximately 80 metres and 180 metres to the north. The proposed development will not require prolonged periods of heavy machinery use and construction will largely be completed by using hand tools on site. The proposed development will not have a significant impact on the aural amenity of adjoining occupiers.</p> <p>Works will be limited and will be undertaken during the following hours in accordance the NSW Interim Construction Noise Guideline (ICNG):</p>	<p>All cutting of materials will take place within the site and during acceptable construction hours.</p> <p>Disruptive and intrusive noise such as angle grinding, explosive fasteners, floor grinding, cutting of aluminium etc. will not take place outside of standard construction hours.</p> <p>Radios and speakers will be prohibited at all times on site.</p> <p>The construction timeline for the proposal will be approximately six (6) months.</p>

Existing Environment	Potential Impacts	Discussion	Mitigation
		<ul style="list-style-type: none"> 7.00am to 6.00pm Monday to Friday; 8.00am to 1.00pm Saturdays; and No work on Sundays or public holidays. 	
Air Quality	Minor, temporary impacts	<p>The construction of the proposed development has the potential to generate dust and emissions that may impact on local air quality, but that emissions with the potential to occur during construction would be temporary and associated with dust particles, such as PM10, and vehicle, plant, and equipment emissions such as CO, SO₂, nitrous oxides, volatile organic compounds (VOC), and polycyclic aromatic hydrocarbons (PAH).</p> <p>The most likely sources of dust and dust-generating activities included:</p> <ul style="list-style-type: none"> Delivery and transfer of construction materials to the site; Dispatch of wastes and recyclable materials from the site; Stockpiling; and General construction works. 	<p>The following mitigation measures have been proposed to control and reduce air quality impacts during construction:</p> <ol style="list-style-type: none"> 1. A Construction Environmental Management Plan would be prepared by the Contractor to manage the impacts of the project. The CEMP would include an air quality management sub-plan (AQMSP) to be implemented for the duration of construction. 2. Training would be provided to workers and contractors on the importance of minimising dust and air emissions, and how to use equipment in ways to minimise emissions. 3. Plant and machinery would be regularly checked and maintained in a proper and efficient condition. 4. Construction vehicle movements would be restricted to designated trafficable areas and sealed/compacted surfaces where practical. 5. Stockpiles would be covered when not in use. 6. Truck loads would be appropriately covered when transporting material to and from the construction site, and

Existing Environment	Potential Impacts	Discussion	Mitigation
			<p>tailgates would be securely fixed.</p> <p>7. Mud and dirt tracked onto sealed road surfaces would be minimised, and a street sweeper employed to clean up any mud and dirt that has been tracked.</p>
Waste Management	Minor, temporary impacts	The construction of the proposed development has the potential to generate some minor waste impacts including debris and excess materials.	<p>The bulk of waste generated by the works could include glass, and some architectural ceramic, concrete, metal, paint and paper/plastic packaging from manufactured and shipped items. It is likely that construction waste would be placed directly into a skip bin before being taken off site for recycling (where practicable) or disposal. In the event that any waste receptacles need to be placed in public areas, a permit would be sought from Council by the contractor as required. The successful contractor, once appointed will prepare a detailed CMP and will identify waste storage areas, access, sediment control and site safety requirements.</p> <p>During construction works, the contractor should follow resource management hierarchy principles, particularly in relation to the disposal of the building elements to be removed. This would entail the following, in order of priority,</p> <p>Avoid unnecessary consumption,</p> <p>Reduce, reuse, reprocess, and recycle</p> <p>Recover, and conserve (eg energy, water and by-products)</p> <p>Dispose to incineration or landfill as the last resort, but according to EPA waste regulations and classification.</p>

5.2 Utilities and Services

The site is located in a highly urbanised area with all necessary urban utility services available or can be readily augmented to meet the needs of the development. Connections to electricity, water, telecoms services will be made in accordance with the requirements of servicing authorities.

6. ASSESSMENT OF IMPACTS

6.1 Environmental Planning and Assessment Regulation 2021

The following table provides a summary of the environmental implications of the proposal and provides an assessment against the factors referred to in section 171 of the *Environmental Planning and Assessment Regulation 2021*.

Table 3: Section 171 Considerations

Environmental Factors	Impact(s)	Significance of Impact(s)
(a) <i>the environmental impact on the community,</i>	<p>The proposal may have some minor temporary impacts on nearby landholders through localised construction works (for instance traffic generation, noise and dust pollutants). However, the implementation of mitigation measures and the enforcement of a detailed CMP would address these impacts.</p> <p>Longer term operational impacts are expected to be negligible and will comply with relevant planning and design criteria in areas such as noise, traffic management and stormwater management.</p> <p>Long term benefits of the proposal would include new interment allocations in a state significant cemetery available for local residents and notable people of NSW. There is an overarching need to address the critical shortage of available cemetery space in Sydney and NSW. According to “<i>The 11th Hour – Solving Sydney’s Cemetery Crisis</i>” much of existing, operational Crown Cemeteries in Sydney will reach capacity and close to new burials in 10 -12 years. The proposal will have a direct positive impact on addressing this critical shortage, providing approximately 720 new ash interment niches for the people of Sydney.</p> <p>Furthermore, the proposed development would help to provide much needed funding for the upkeep and maintenance of the heritage asset.</p>	Short term minor negative / long term positive
(b) <i>the transformation of the locality,</i>	There will be no significant transformation of the locality because the works will be internalised within Waverley Cemetery.	N/A

Environmental Factors	Impact(s)	Significance of Impact(s)
	Quinn Road is centrally located within the site and is not readily visible from the surrounding streetscape. The proposal will have a net positive impact in the locality, providing a new memorial area of high design quality and enhanced opportunities for mourning and reflection, as is typical of the setting of the locality. The proposal has been specifically designed to ensure the protection and retention of existing site features including the sandstone wall and stairs on the western side of Quinn Road.	
(c) <i>the environmental impact on the ecosystems of the locality,</i>	<p>The development will have an inconsequential impact on threatened species and ecological communities. The site is not identified as containing any terrestrial biodiversity including sensitive species or protected habitats. Construction impacts including erosion and sediment control will be managed and mitigated through the implementation of a detailed CMP.</p> <p>The proposal will introduce native landscaping along the eastern edge of Quinn Road, promoting increased biodiversity and opportunities for creating new habitats.</p>	Short term minor negative; long term minor positive impacts through the provision of additional landscaping.
(d) <i>reduction of the aesthetic, recreational, scientific or other environmental quality or value of the locality</i>	The proposal may have some minor temporary impacts relating to noise and dust. There would be no significant aesthetic/visual impact as the development is consistent with the character of the area. There would be no recreational, scientific or other environmental impacts associated with the development.	Short term minor negative
(e) <i>the effects on any locality, place or building that has—</i> <i>(i) aesthetic, anthropological, archaeological, architectural, cultural, historical,</i>	<p>There would be negligible aesthetic, anthropological, archaeological, architectural, cultural, historical, scientific or social significance effects on the locality.</p> <p>Waverley Cemetery is a state significant heritage item, with cultural, historical and social significance.</p>	Low impact

Environmental Factors	Impact(s)	Significance of Impact(s)
<p><i>scientific or social significance, or</i></p> <p><i>(ii) other special value for present or future generations,</i></p>	<p>A Heritage Impact Statement (HIS) is provided in Appendix 3. and concludes as follows:</p> <p><i>“The overall heritage impact is positive as the proposal provides further opportunities for interpretation, retains the road reserve and immediate curtilage and provides further interments as carefully considered supplementary elements within the heritage values of place.”</i></p>	
<p><i>(f) the impact on the habitat of protected animals, within the meaning of the Biodiversity Conservation Act 2016,</i></p>	<p>There would be no significant impact on threatened species, populations or ecological communities or their habitat. Native planting will be introduced to the eastern edge of Quinn Road, providing opportunities for improved biodiversity and habitat formation.</p>	No impact.
<p><i>(g) the endangering of a species of animal, plant or other form of life, whether living on land, in water or in the air,</i></p>	<p>There would be no significant impact on threatened species, populations or ecological communities or their habitat.</p>	No impact.
<p><i>(h) long-term effects on the environment,</i></p>	<p>There will be no long-term effects on the environment.</p>	N/A
<p><i>(i) degradation of the quality of the environment,</i></p>	<p>The proposal may have some minor temporary impacts relating to noise, dust and disruption to the day to day operations of the cemetery during the construction phase. Long term impacts during operation will be negligible.</p>	Minor short term impacts
<p><i>(j) risk to the safety of the environment,</i></p>	<p>There will be negligible risk to the safety of the environment. The mitigation measures outlined in Section 5 would be implemented to manage environmental risk.</p>	N/A
<p><i>(k) reduction in the range of beneficial uses of the environment,</i></p>	<p>There will be no reduction in the range of beneficial uses of the environment.</p>	N/A

Environmental Factors	Impact(s)	Significance of Impact(s)
(l) <i>pollution of the environment,</i>	There will be no significant environmental pollution. The proposal may result in minor temporary impacts during construction in terms of dust and noise pollution. The mitigation measures outlined in Section 5 would be implemented to manage environmental risk.	Minor short term negative impacts
(m) <i>environmental problems associated with the disposal of waste,</i>	There will be no environmental problems associated with the disposal of waste. Waste would be managed through the project specific waste management plan provided and the mitigation measures outlined in Section 5 and in accompanying reports. The project is unlikely to result in environmental problems associated with the disposal of waste.	Minor short term impacts
(n) <i>increased demands on natural or other resources that are, or are likely to become, in short supply,</i>	The proposal will require construction materials that are readily available. The project is unlikely to increase demands on resources that are or are likely to become in short supply.	Minor short term impacts
(o) <i>the cumulative environmental effect with other existing or likely future activities,</i>	As the residual impacts of the proposal are nil or minor, the cumulative impacts of the project during construction and operation would be negligible, provided that the mitigation measures in Section 5 are implemented.	N/A
(p) <i>the impact on coastal processes and coastal hazards, including those under projected climate change conditions,</i>	The proposal would not affect or be affected by coastal processes or hazards.	N/A
(q) <i>applicable local strategic planning statements, regional strategic plans or district strategic plans made under the Act, Division 3.1,</i>	<p>The proposal is consistent with the existing use of the site which is for a cemetery.</p> <p>By 2036, the Waverley LSPS estimates the population of the LGA will increase by 7%. Pair this with an increasing ageing</p>	Long term positive

Environmental Factors	Impact(s)	Significance of Impact(s)
	<p>population, the need for local interment allocation is evident.</p> <p>In addition to this, one of actions for the Bondi, Tamarama and Bronte local areas is to promote and celebrate the historic coastal Waverley Cemetery. The proposed development will increase opportunities for interment, therefore generating additional income that will contribute to the long term maintenance and upkeep of the state significant heritage item.</p>	
(r) other relevant environmental factors.	There will be no long-term effects on the environment.	N/A

7. ENVIRONMENTAL MANAGEMENT

7.1 Environmental Management Plans

The assessment of impacts set out in Section 5 of this report includes mitigation measures designed to avoid and reduce the potential environmental impacts associated with the construction and operation of the proposed works.

A Construction Management Plan (CMP) will be prepared prior to the commencement of construction and will incorporate the mitigation measures identified in this REF and associated specialist reports.

The CMP ensures that the safeguards identified in this REF, as well as any others that are considered relevant, are effectively translated into actual construction techniques and environmental management activities, controls and monitoring/verification to prevent or minimise environmental impacts. The CMP identifies the requirements for compliance with relevant legislation and other regulatory any requirements to ensure environmental safeguards described throughout this REF are implemented.

A Construction Noise and Vibration Management Plan (CNVMP) prepared by a suitably qualified person must be prepared. Other management plans will be implemented as required by the recommended mitigation measures.

7.2 Mitigation measures

Mitigation measures for the project are summarised in Table 4. These measures have been recommended following detailed environmental assessment to minimise the potential adverse impacts of the project.

Table 4: Mitigation Measures

Pre- Construction	
Construction Management Plan (CMP)	
1.	A CMP will be prepared by the Contractor to manage the construction impacts of the project. It is to be prepared prior to any works commencing and must be implemented throughout the construction period. The CMP will be regularly reviewed by the Principal Contractor and updated accordingly.
Aboriginal Heritage	
2.	The CMP is to include an aboriginal heritage management sub-plan (AHMSP) comprising an unexpected finds protocol to be implemented for the duration of construction detailing that if any Aboriginal objects are found during works associated with project, works must stop, and Heritage NSW must be notified. If human remains are found, stop work, secure the site and notify the NSW Police and Heritage NSW.
Air Quality	
3.	The CMP would include an air quality management sub-plan (AQMSP) to be implemented for the duration of construction.

Arboricultural	
4.	Tree protection zones (TPZs) and structural root zones (SRZs) would be delineated and fenced to prevent incursions for the duration of the works.
Noise and Vibration	
5.	Training would be provided to workers and contractors on the importance of minimising noise and how to use equipment in ways to minimise noise.
6.	Use of power tools including stone cutting machinery and grinders to be used only during standard construction hours Monday to Saturday and not on Sunday.
Soils and Contamination	
7.	An Unexpected Finds Protocol would be developed and included in the CEMP that considers asbestos containing materials and other potential soil contaminants. Procedures for handling asbestos containing materials, including licensed contractor involvement as required, record keeping, site personnel awareness and waste disposal to be undertaken in accordance with WorkCover requirements.
Heritage	
8.	The existing stone wall is to be assessed as to maintenance - this being completed and carried out prior to the new works.
9.	The design is to be amended such that the proposed planter beds at the ends of each section are to be detailed so that water does not flow into the base of the adjacent columbarium.
10.	Each columbarium is to be located sufficiently out from the existing stone wall to enable maintenance and removal of rubbish, plant material etc likely to fall behind the columbarium.
Traffic and Access	
11.	The CMP is to include a Construction Traffic Management Plan (TMP) to manage potential traffic impacts associated with construction. The TMP is to be implemented for the duration of construction.
12.	Procedures would be developed in the TMP for preparing and implementing Traffic Control Plans to manage temporary disruptions on internal roads.
13.	The TMP would include construction traffic approach and departure routes and contractor parking.
Utilities and Infrastructure	
14.	Arrangements are to be made with the energy authorities for the supply of energy to the development (where required).
15.	Approval is to be obtained under S68 of the Local Government Act from Waverley Council to connect to Council's Water sewer and potable water supply systems. Any required approvals under S305 of the Water Management Act 2000 are to be obtained.

Protection of Council Assets	
16.	To assist with an assessment of damage to surrounding land, a dilapidation report is to be undertaken and submitted to Council. The report must document and provide photographs that clearly depict any existing damage to the road, kerb, gutter, footpath, driveways, street trees, street signs or any other Council assets in the vicinity of the development.
Waste Management	
17.	A CMP would be prepared by the Contractor to manage the impacts of the project. The CMP would include a waste management sub-plan (WMSP) to be implemented for the duration of construction. Operational waste management procedures will remain unchanged and the site will continue to be managed by Cemetery staff.
Stormwater	
18.	Erosion and sediment control measures would be established prior to any clearing, grubbing and site establishment activities, and would be left in place until the works are complete and areas are stabilised (Refer to Appendix 4).
19.	Vegetation protection zones would be delineated and fenced with flagging or similar to designate no go areas.
Construction	
Air Quality	
20.	Training would be provided to workers and contractors on the importance of minimising dust and air emissions, and how to use equipment in ways to minimise emissions.
21.	Plant and machinery would be regularly checked and maintained in a proper and efficient condition.
22.	Construction vehicle movements would be restricted to designated trafficable areas and sealed/compacted surfaces where practical.
23.	A water cart or sprinkler device would be available during construction for dust suppression on unpaved roads, stockpiles, hardstand areas and other exposed surfaces.
24.	Stockpiles would be covered with tarpaulins, spray grass, or spray film, when not in use.
25.	Truck loads would be appropriately covered when transporting material to and from the construction site, and tailgates would be securely fixed.
26.	A shaker grate and wheel wash would be installed at the access point to the project. The access point would be defined in the SWMP.
27.	Mud and dirt tracked onto sealed road surfaces would be minimised, and a street sweeper employed to clean up any mud and dirt that has been tracked.
Noise and Vibration	

28.	Noise-emitting plant is to be directed away from sensitive receivers and located as far from them as practical.
29.	Plant and equipment is to be regularly inspected and maintained.
30.	Non-tonal reversing alarms are to be used where available for all plant used onsite for more than one day and for any out of hours works.
31.	Quieter construction methods are to be used where feasible and reasonable.
32.	Plant and equipment not in use for extended periods would be switched off.
33.	Delivery drivers are to be informed of designated vehicle routes, parking locations, and acceptable delivery hours for the site.
34.	Delivery vehicles would be turned off when not in use and would not be left in idle while waiting at the project site.
35.	The simultaneous operation of noisy plant and equipment is to be avoided or limited to those occasions where rescheduling cannot be accommodated.
36.	All works would be carried out during standard construction hours (i.e., 7.00 am to 6.00 pm Monday to Friday; 8.00 am to 1.00 pm Saturdays), including deliveries to the site.
37.	Works would be carried out during standard construction hours as required by the NSW Interim Construction Noise Guideline (ICNG).
Soils and Contamination	
38.	Vehicles and machinery are to be properly maintained and inspected daily to minimise the risk of fuel/oil leaks.
39.	Construction plant, vehicles and equipment are to be refuelled offsite, or in a designated refuelling area replete with a fully stocked spill kit. Spill kits would be inspected daily and restocked where necessary.
40.	All site personnel and contractors are to be made aware of the location of the spill kits and be trained in how and when to use them.
41.	Portable quantities of fuels, chemicals, and hazardous liquids are to be stored away from drainage lines, within a purpose built storage cabinet.
Traffic and Access	
42.	Construction phase deliveries would be scheduled where possible to avoid peak times.
43.	Pedestrian and cycle access would be maintained along pedestrian footpaths throughout all phases of the project.
Waste Management	
44.	Prior to construction all site personnel would be trained in the principles of avoid, reuse, recycle and the appropriate disposal of demolition, construction, and general waste.

45.	The project site would be maintained free of litter at all times.
46.	Self-contained portable toilets would be installed at the work site and maintained by a licensed contractor.
Stormwater	
47.	A site-specific Soil and Water Management Plan (SWMP) would be prepared and implemented in accordance with the requirements of Managing Urban Stormwater: Soils and Construction Guidelines (Landcom, 2004) (the Blue Book). The SWMP would be included in the CMP and implemented for the duration of construction.
48.	Sediment protection filters would be installed on all new and existing stormwater inlet pits in accordance with either the mesh and gravel inlet filter detail SD6-11 or the geotextile inlet filter detail SD6-12 of Landcom (2004).
49.	Erosion and sediment control measures would be maintained and regularly inspected (particularly following rainfall events) to ensure their ongoing functionality.
Water (generally)	
50.	Material stockpiles would be constructed and maintained in accordance with detail SO4-1 of Landcom (2004).
51.	Material stockpiles would not exceed 2.0m high, and would be protected from wind and rain in accordance with Landcom (2004).
52.	A water cart or sprinkler device would be available during construction for dust suppression.
53.	Disturbed areas that are not being worked on would be re-vegetated as soon as is practical.
54.	The manufacturers' instructions would be followed for the use of any chemical agents used on-site.
55.	Sediment basins would be dewatered as soon as practical, once captured water achieves Council's water quality objectives.
56.	Sediment basins would be inspected after each rainfall event and on a weekly basis. The inspection will include the function of the basin, the sediment storage zone, and outlet and emergency spillway works. Maintenance would be carried out where required to ensure basins are maintained in a fully operational condition at all times.
57.	The contractor would keep a detailed written record of all erosion and sediment controls on-site during the construction period. This record would be updated on a daily basis and will contain details on the condition of controls and any maintenance, cleaning, and breaches. This record would be kept on-site at all times and will be made available for inspection by the principal certifying authority and the superintendent during normal working hours.
58.	Groundwater seepage into footings and piles, if encountered, would be removed by pumping prior to placing concrete.

8. CONCLUSION

This REF has been prepared in accordance with Section 5.5 of the *Environmental Planning and Assessment Act 1979* and sections 170 and 171 of the *Environmental Planning and Assessment Act Regulation 2021*. It provides an assessment of the proposed activity in relation to its likely effects on the environment. It addresses matters affecting or likely to affect the environment as a result of the proposed activity.

The proposed works will consist primarily of the construction of new columbarium walls for the purpose of ash interment memorial and associated landscape interface works along the eastern landscape verge of Quinn Road.

The purpose of the proposal is:

- to provide Waverley Cemetery with a series of high-quality niche walls and memorial garden beds for ash interment along Quinn Road along with landscape treatments and spaces for reflection; and
- to provide an identifiable precinct within Waverley Cemetery that meet the needs of the local community both now and in the future.

The proposal would produce some minor environmental impacts during the construction phase, which are unavoidable for this type of development. However, through the adoption of appropriate and targeted environmental measures during the construction phase, these impacts would be suitably mitigated. These mitigation measures are identified in **Section 7** of this REF.

The Section 171 checklist in Section 6 of this report has concluded that the project would not have a significant negative impact on the environment and therefore it is considered that no additional environmental impact assessment is required.

The proposed activity is recommended for approval subject to implementation of the measures to avoid, minimise or manage environmental impacts listed in **Section 7** of this REF.

APPENDICES

Appendix 1: Certificate of Title & Deposited Plan



NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1877/1173589

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
31/7/2023	10:36 AM	1	6/3/2012

LAND

LOT 1877 IN DEPOSITED PLAN 1173589
AT BRONTE
LOCAL GOVERNMENT AREA WAVERLEY
PARISH OF ALEXANDRIA COUNTY OF CUMBERLAND
TITLE DIAGRAM DP1173589

FIRST SCHEDULE

WAVERLEY COUNCIL (CA161414)

SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 QUALIFIED TITLE. CAUTION PURSUANT TO SECTION 28J OF THE REAL PROPERTY ACT, 1900. ENTERED 6-3-2012 BK 148 NO 289, BK 155 NO 666, BK 311 NO 981, 500 NO 507, BK 519 NO 910 AND BK 542 NO 640
- 3 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.

NOTATIONS


UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

dda0213009

PRINTED ON 31/7/2023

DP 1173589

Registered:  6.3.2012
Title System: OLD SYSTEM
Purpose: LIMITED FOLIO CREATION
Ref. Map: U1845-91; U1845-93
Last Plan: 626.690; 1616.3000

CA 161414
PLAN OF THE LAND COMPRISED IN
DEED BK. 148 NO.289
DEED BK. 155 NO.666
DEED BK. 311 NO. 981
DEED BK. 500 NO. 507
DEED BK. 519 NO. 910
DEED BK. 542 NO. 640

Lengths are in metres. Reduction Ratio - NTS

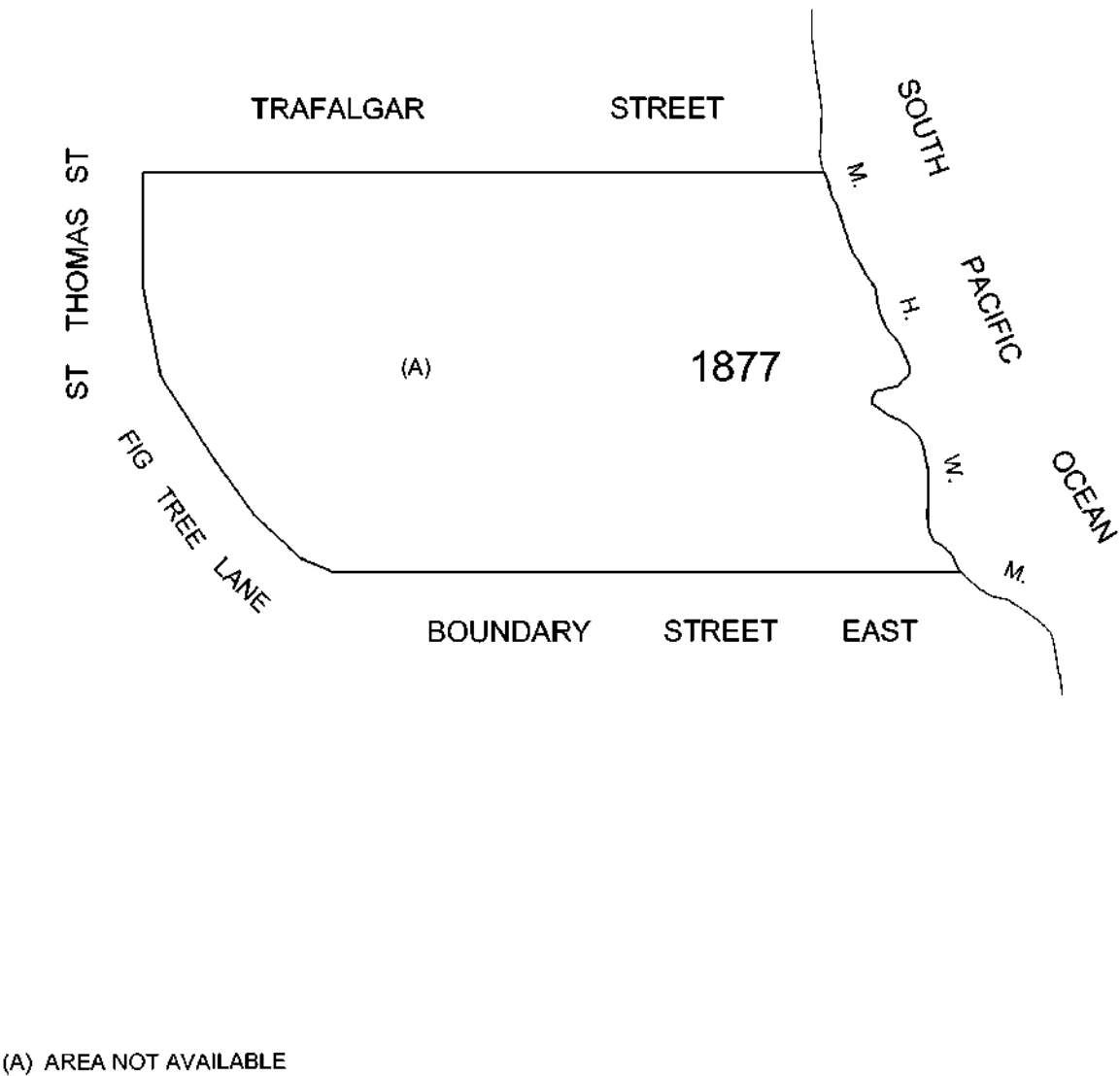
Sheet 1 of 1 sheet

L.G.A.: WAVERLEY
LOCALITY: BRONTE
PARISH: ALEXANDRIA
COUNTY: CUMBERLAND

THIS PLAN WAS PREPARED SOLELY TO
IDENTIFY THE LAND IN THE ABOVE DEED
AND THE BOUNDARIES HAVE NOT BEEN
INVESTIGATED BY THE REGISTRAR GENERAL

THIS PLAN IS NOT A CURRENT PLAN IN TERMS OF
S.7A CONVEYANCING ACT 1919.

LPI Ref. : TCB13/TCB12



Appendix 2: Plans of Proposed Works

PROJECT	WAVERLEY CEMETERY
PROJECT NO	23-060S
PAGE NO.	1
ISSUED BY	AARON LAKEMAN
ISSUED TO	CONSULTANT TEAM

[illegible]

Sent by	E=Email	M=Mail	E	E					
	C= Courier	EP=Express Post							
	PU= Pick Up	HD=Hand Deliver							
Purpose	A=Approval	CON=Construction	CO	CO					
	R=Requested	T=Tender							
	C=Comment	I=Information							
	CO=Coordination	COU=Council							

Waverley Cemetery Renewal and Enhancements

Quinn Road Precinct

Concept Package

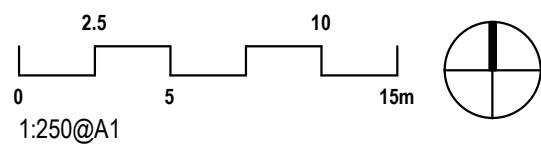


Drawing Register

Drawing	Sheet Name
LA000	Cover sheet
LA100	Concept Site Plan
LA101	Concept Plan North
LA102	Concept Plan South
LA200	Elevation and Sections
LA300	Materiality and Planting

DRAFT

Cover sheet



Quinn Road Precinct

CONCEPT PROPOSAL

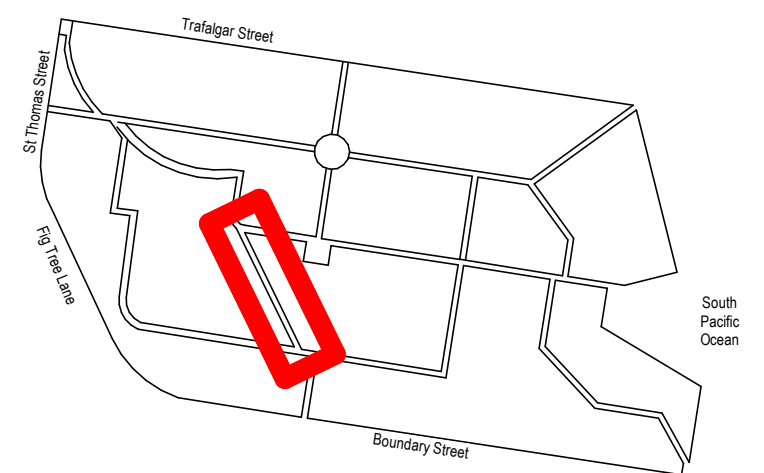
LEGEND:					
	Site boundary		Permeable paving		Existing asphalt relaid with pavement inlay
	Existing tree retained		Lawn		Proposed sandstone columbarium walls
					Existing sandstone wall retained
					Proposed trees
					Proposed garden with shrubs and groundcovers



Design Notes

- 1 Existing garden and planting supplemented within existing interments
- 2 Existing sandstone wall, gutter and kerb retained with New columbarium wall in front
- 3 New entry pavement threshold to precincts with removable bollards
- 4 Existing asphalt paving regraded to include interpretation in pavement

DRAFT



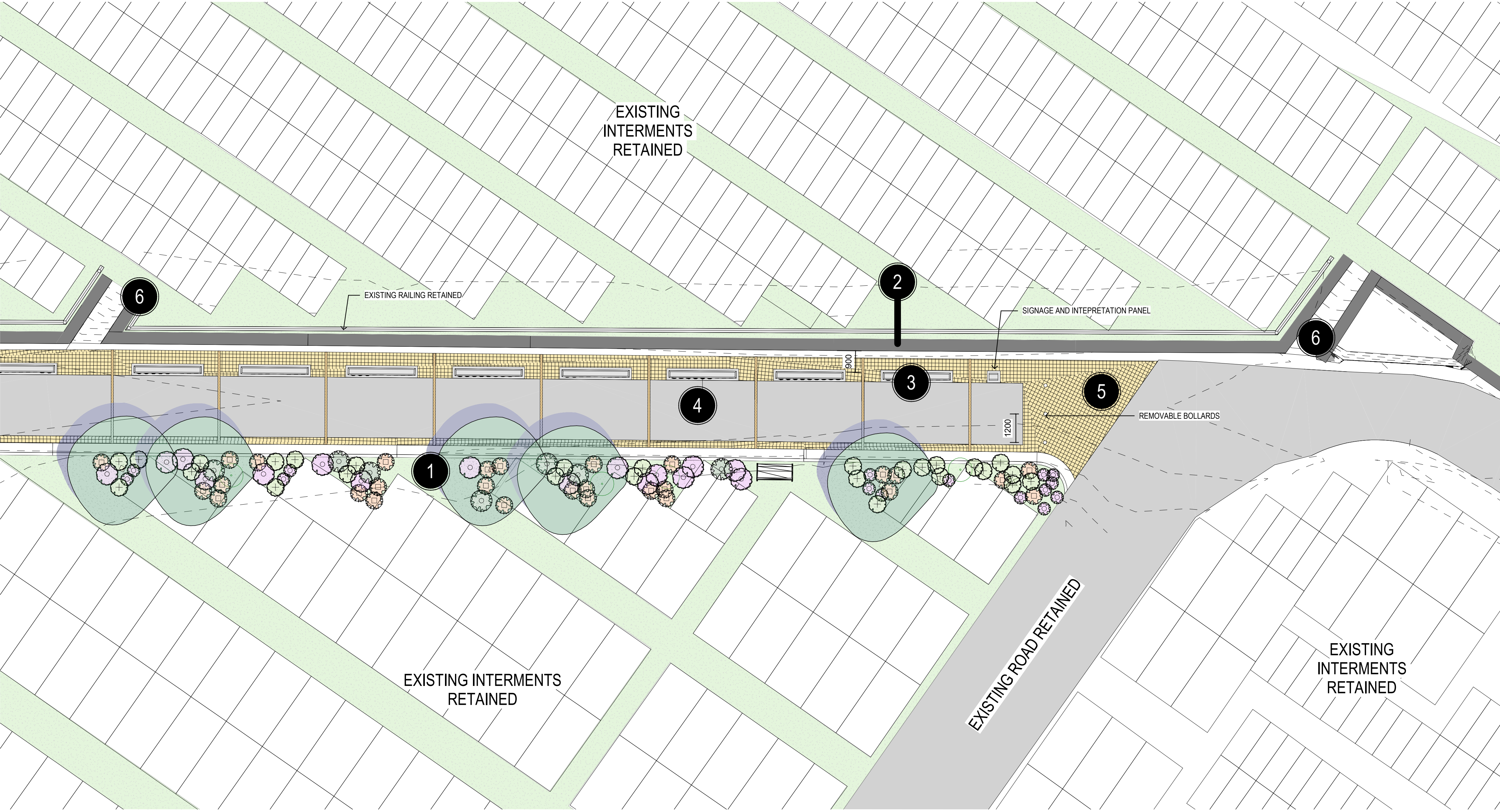
Concept Site Plan

CLIENT: Waverley Council
JOB NO: 23-060s
CHECKED: DMT
DRAWN BY: MR JAL
DESIGNED BY: AL

DRAWING:
LA100

REV: **P2**
DATE: 11.10.2023

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Design Notes

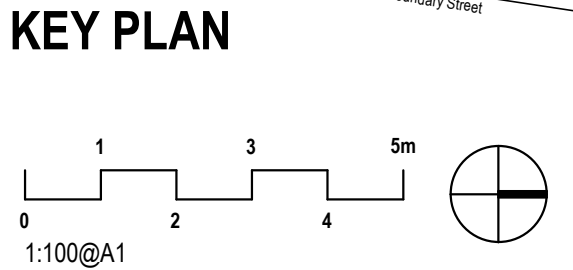
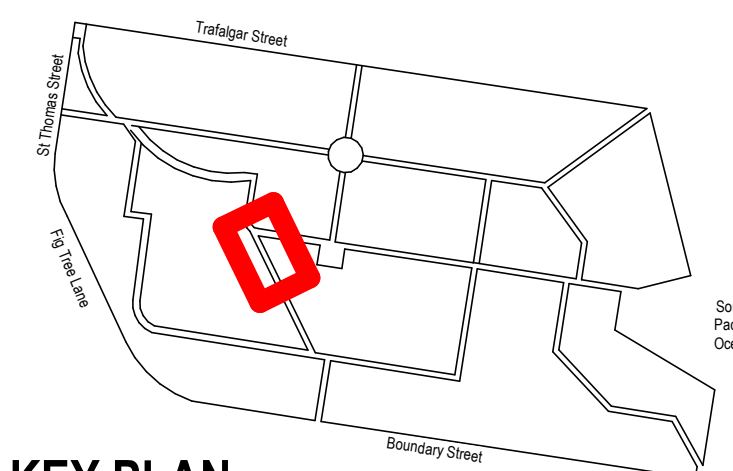
- 1 Existing garden and planting supplemented with new native planting

2 Existing stone wall, gutter and kerb retained

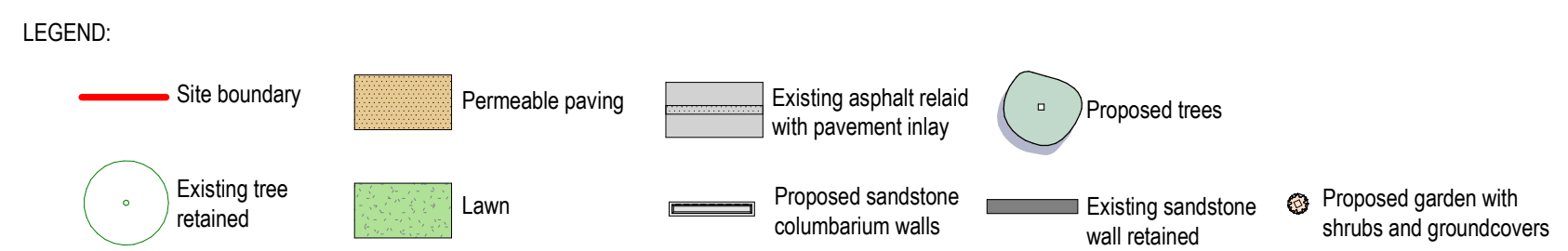
3 New columbarium walls in sandstone cobble paved surround
- 4 Existing asphalt paving reggraded to include interpretation in pavement

5 New feature threshold paving with removable bollards

6 Existing stair retained

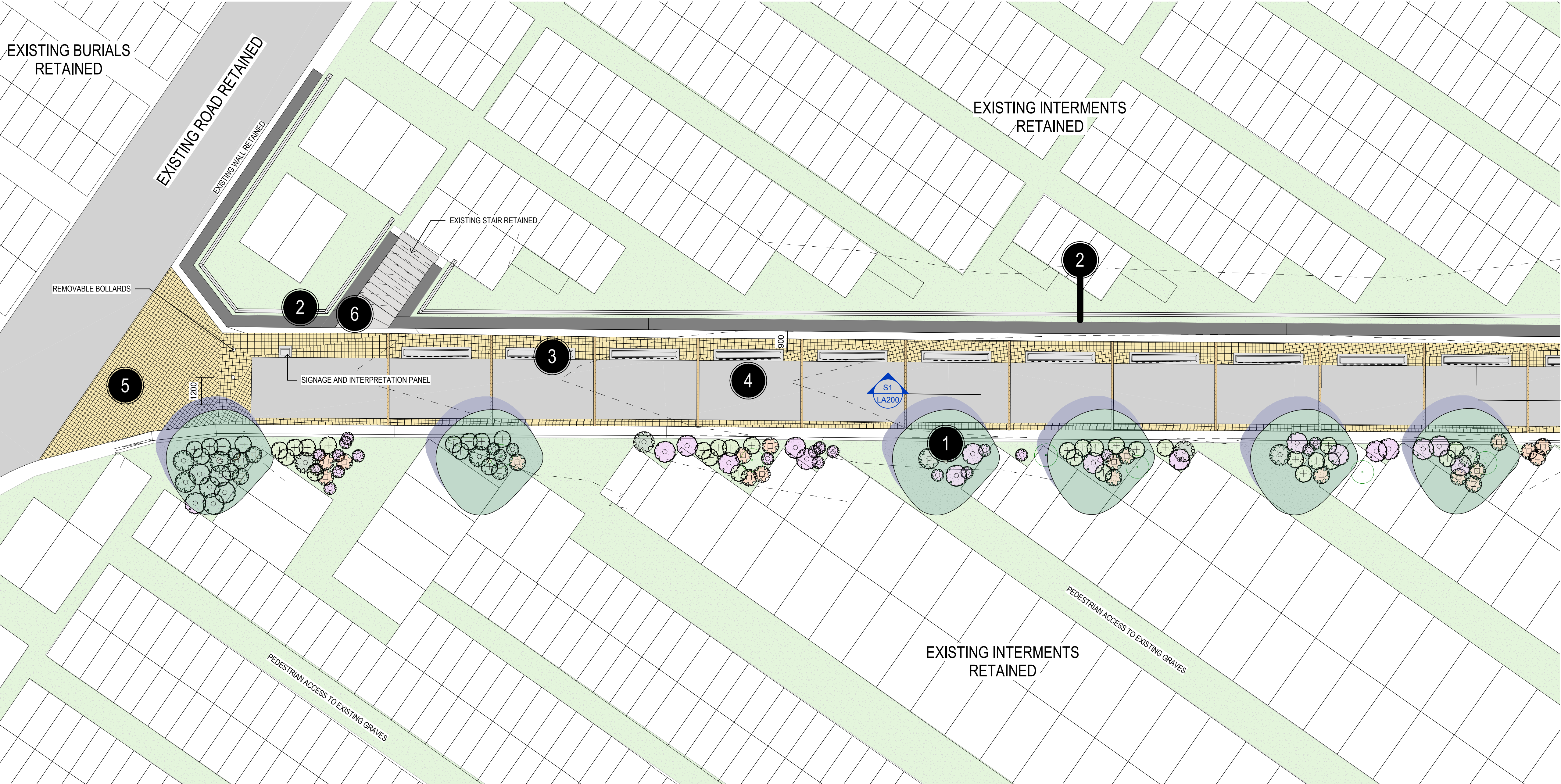


Quinn Road Precinct
CONCEPT PROPOSAL



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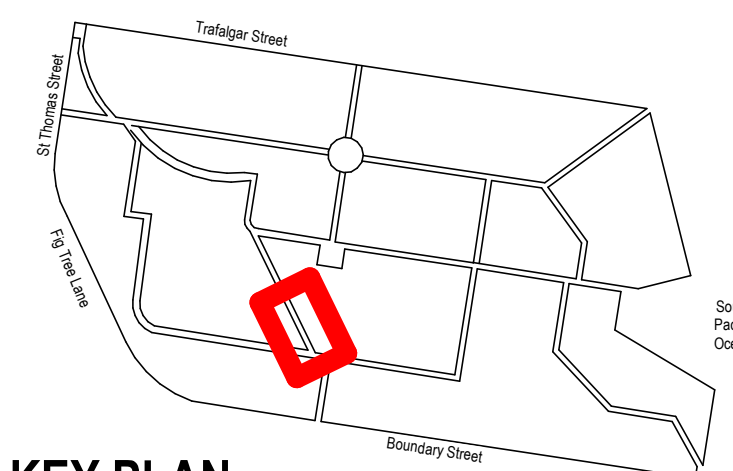
Concept Plan North



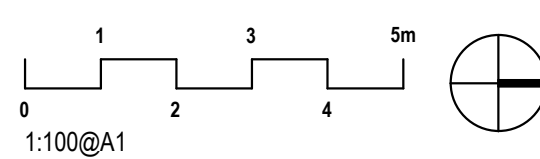
Design Notes

- | | |
|--|--|
| 1 Existing garden and planting supplemented with new native planting | 4 Existing asphalt paving regraded to include interpretation in pavement |
| 2 Existing stone wall, gutter and kerb retained | 5 New feature threshold paving with removable bollards |
| 3 New columbarium walls in sandstone cobble paved surround | 6 Existing stair retained |

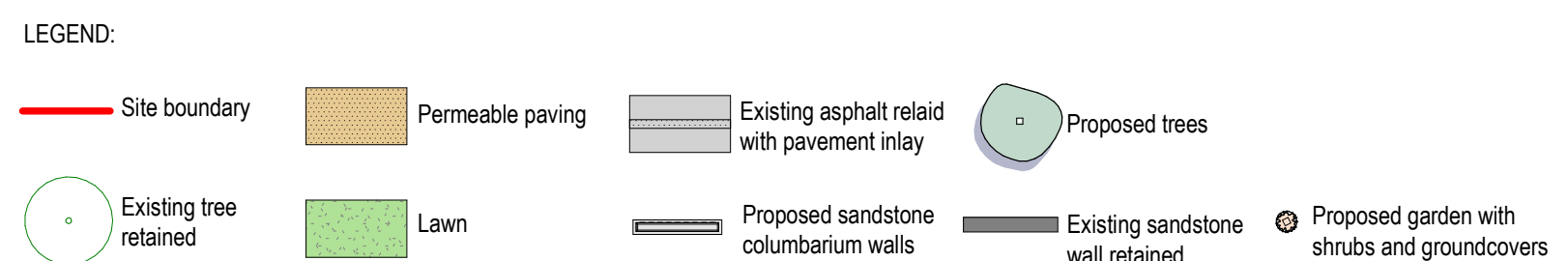
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KEY PLAN



Quinn Road Precinct CONCEPT PROPOSAL

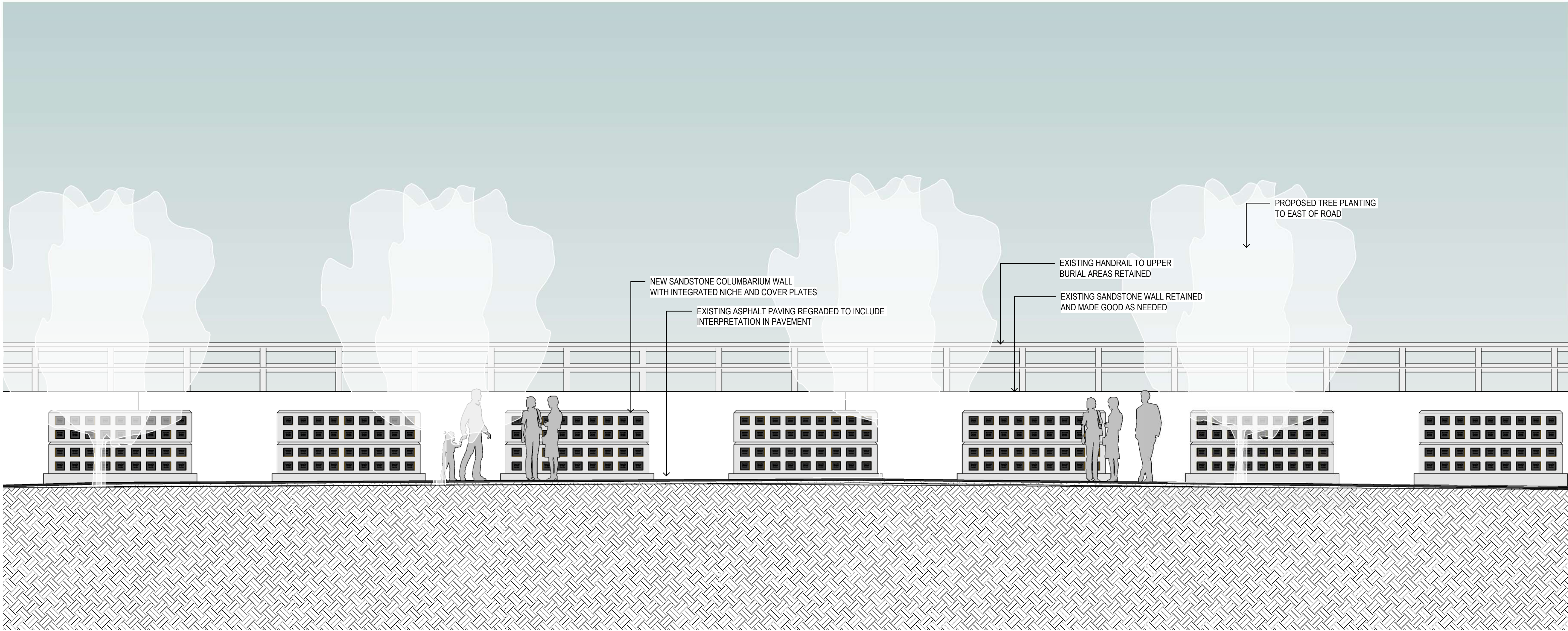


CLIENT: Waverley Council
JOB NO: 23-060s
CHECKED: DMT
DRAWN BY: MR/AL
DESIGNED BY: AL

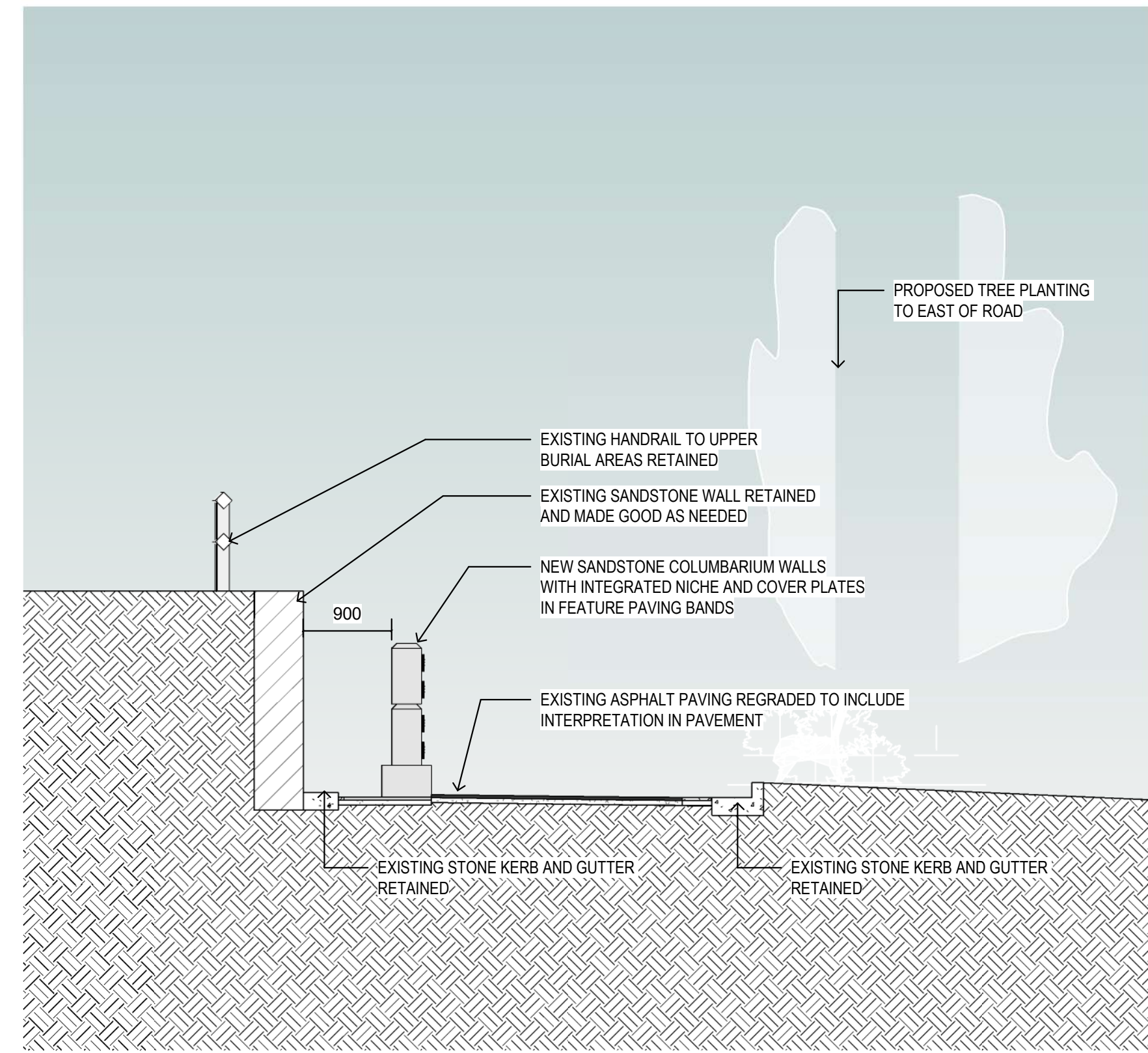
DRAWING: **LA102**
REV: REF ISSUE

REV: **P1**
DATE: 11.10.2023

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AEN 61 098 724 988



2 Quinn Road - Western Elevation
1 : 50



1 Quinn Rd Section
1 : 50

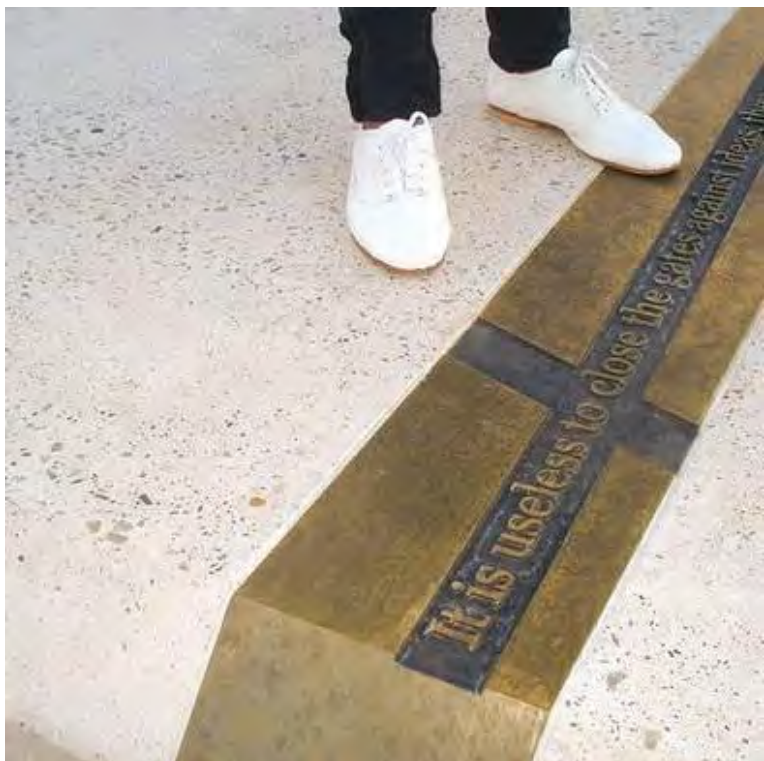
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Elevation and Sections

Quinn Road Precinct
CONCEPT PROPOSAL



Concept Planting Schedule				
Botanical Name	Common Name	Mature Height (mm)	Pot Size	Qty
Banksia 'Roller coaster'	Groundcover banksia	500	200mm	59
Banksia integrifolia	Coastal banksia	6000	100L	11
Carpobrotus glaucescens	Figface	500	200mm	40
Erigeron karvinskianus	Seaside daisy	300	200mm	17
Leptospermum 'Burgundy queen'	Burgundy queen	600	200mm	38
Westringia fruticosa 'Mundi'	Dwarf coastal rosemary	500	200mm	66



Materiality

DRAFT

Materiality and Planting

Appendix 3: Heritage Impact Statement



Nearmap Aerial photograph of site dated 7 June 2023

Waverley Cemetery St Thomas and Trafalgar Streets, Bronte

Project Reference: 23-060s
15 February 2024

Report Register

ISSUE	REFERENCE NUMBER	REPORT DATE	ISSUE DATE
1	Preliminary draft	27.09.2023	27.09.2023
2	Final	23.10.2023	23.10.2023
3	Revised final	30.10.2023	30.10.2023
4	Revised final	15.02.2024	15.02.2024

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1.2	Authorship	5
1.3	Report Structure	5
1.4	Terminology	6
1.5	Consultation	7
1.6	Existing Heritage Listing	7
1.7	Statement of Cultural Significance	7
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1.0 Introduction

1.1 Introduction

Waverley Council as the owner/manager of Waverley Cemetery (the site) has commissioned Taylor Brammer Landscape Architects Pty Ltd to provide a Statement of Heritage Impact for the proposal of Interment Plinths to be located along and within Quinn Road, the upper portion of the cemetery.

Currently, Quinn Road is an asphalt road that is defined by a sandstone wall to the west and graves to the east. The road forms part of the overall fabric of the place. The sandstone wall has an exceptional significance and the road is of moderate significance as defined by the Conservation Management Plan Waverley Cemetery prepared by City Plan Heritage (2018).

Quinn Road runs in a north western, south easterly direction and forms an integral part of the layout of the cemetery.

The works are described in the following documentation:

Proposal for Quinn Road Precinct Taylor Brammer Landscape Architects Pty Ltd 15 August 2023

1.2 Authorship

This report has been prepared by D Matthew Taylor, Director of Taylor Brammer Landscape Architects Pty Ltd, specialist heritage landscape architect and consultant. Unless noted, drawings and photographs have been prepared by Taylor Brammer Landscape Architects Pty Ltd. The Conservation Management Plan: Waverley Cemetery prepared City Plan Heritage Pty Ltd (2018) is referred to as the general basis as background information and analysis of place.

1.3 Report Structure

This Statement of Heritage Impact has been prepared in accordance with guidelines outlined in the Australia ICOMOS Charter for Places of Cultural Significance, 2013, known as The Burra Charter, and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) publication, NSW Heritage Manual.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words place, cultural significance, fabric, and conservation, is as defined in Article 1 of The Burra Charter. The NSW Heritage Manual explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

1.4 Terminology

Through this report, the terms place, cultural significance, fabric, conservation, maintenance, preservation, restoration, reconstruction, and adaptation are used as defined in the Burra Charter.

- Place means site, area, land, landscape, building or other works, group of buildings or other works and may include components, contents, spaces and views.
- Cultural significance means aesthetic, historic, scientific, social or spiritual value for the past, present and future.
- Fabric means all the physical material of place including components, fixtures, contents and objects.
- Conservation means all the processes of looking after a place so as to retain its cultural significance.
- Maintenance means the continuous protective care of the fabric and setting of a place and is distinguished from repair. Repair involves restoration or reconstruction.
- Preservation means maintaining the fabric of a place in its existing state and regarding deterioration.
- Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.
- Adaptation means modifying the place to suit the existing use or a proposed use.
- Use means the functions of a place, as well as the activities and practices that may occur at the place.
- Compatible use means a use that respects the cultural significance of a place. Such a use involves either no impact or minimal impact on cultural significance.
- Setting means the area around a place which may include the visual catchment or curtilage.
- Related place means a place that contributes to the cultural significance of another place.
- Associations mean the special connections that exist between people and a place.
- Meanings denote what a place signifies, indicates, evokes or expresses.
- Interpretation means all ways of presenting the cultural significance of place.

1.5 Consultation

The author coordinated with Waverley Council, Genevieve Wilson and Fleur Mellor in relation to the works proposed.

1.6 Existing Heritage Listing

Waverley Cemetery is listed as a heritage item in the following statutory heritage lists:

- State Heritage Register under the NSW Heritage Act, 1977 (SHR No. 01975) (Figure 1).
- Schedule 5 of the Waverley Local Environment Plan (LEP) 2012 (Item no. C66) (Figure 2).
- National Trust of Australia (NSW) Register – Status: Classified

1.7 Statement of Cultural Significance

The following Statement of Cultural Significance was prepared by Penny Mora of Residents for Waverley Cemetery in 2015 as part of the State Heritage Register (Figure 1) nomination for the site, as presented in the State Heritage Inventory sheet for the site. City Plan Heritage (2018) concurs with this Statement of Significance.

Waverley Cemetery is of state heritage significance as a general public Victorian-era cemetery that is the final resting place for more than 100,000 people. Sited in an urban setting, against a dramatic natural landscape of the Pacific Ocean with its steep cliffs and the endless horizon, Waverley Cemetery is a picturesque urban burial ground that contains a collection of highly intact funerary monuments and furniture dating from 1877.

Its earliest elements demonstrate the moral standards and religious philosophies of the Australian community in the Victorian period and, through the continuity of the cemetery's use to the present day and the gradual introduction of alternative funerary designs and interment practices throughout the years, the cemetery demonstrates the cultural diversity and changing social values and attitudes of the Australian people towards death and its commemoration over some 140 years. The aesthetic continuity of Waverley Cemetery is largely due to the strict management of the cemetery in the early periods of its development.

Waverley Cemetery is of state heritage significance for its association with a number of high-achieving, famous and notable people from across NSW, Australia and the world. Some of its most famous names include Henry Lawson (writer and poet); Dorothea Mackellar (poet); Jules Franchoise Archibald (journalist and benefactor of the Archibald art prize); Sir James Martin (NSW Premier); Sarah 'Fanny' Durack (Olympic gold medal swimmer); members of the Cavill family of famous swimmers - Arthur, Charles, Ernest and Frederick Cavill; William Dymock (book retailer); Victor Trumper (batsman from the 'Golden Age' of cricket); Lawrence Hargrave (aviator and inventor); Nicholas Weekes (prominent freemason); and Michael Dwyer (revolutionary leader of the 1798 Irish Rebellion).

As an operational general public cemetery, Waverley Cemetery is of state heritage significance for its demonstration of the historic and contemporary social character of Sydney and NSW. Waverley Cemetery contains a wealth of genealogical, historical, architectural and artistic information which makes it a significant public educational resource for NSW.

Internationally, the Waverley Cemetery has been reported to be one of the most beautiful cemeteries in the world - among the likes of England's Highgate Cemetery and Pere Lachaise Cemetery in Paris. Accessed 23 10 2023 State Heritage Inventory <https://www.hms.heritage.nsw.gov.au/>.



Figure 1: State Heritage Register curtilage of Waverley Cemetery. (Source: NSW State Heritage Inventory)



Figure 2: Waverley LEP 2012 Heritage Map 004B showing Waverley Cemetery Landscape Conservation Area (C66), two heritage buildings within the cemetery grounds (1343), and horse troughs outside the entrance to the cemetery (1515). (Source Waverley LEP 2012)

2.0 Historical Evolution of the Property

2.1 Evolution of the Site

The following is a description of the evolution of the place and is based on research undertaken by City Plan Heritage (2018) Conservation Management Plan, detailed research by Dominic Steele Consulting (2009) Study of Aboriginal Cultural heritage and B.T. Dowd (1959) Local History of the Waverley area, The History of the Municipality of Waverley.

2.2 Pre European History

The following information has been summarised from the study of Aboriginal cultural heritage prepared by Dominic Steele Consulting for Waverley Council in 2009. People first inhabited the Sydney region during the Pleistocene period. The early inhabitants of the Sydney region were highly mobile, travelling considerable distances between sites. Populations increased over time and with rising sea levels new sites were occupied by 4000 BP. The land that the cemetery is located on was occupied by the Gadigal people who occupied the substantial area between Port Jackson and Mascot. From the late 1700s, they were gradually displaced by Europeans and some limited historical records note the presence of individual Aborigines in eastern Sydney in the middle of the century. In 1894 an Aboriginal mission house was established at La Perouse. The La Perouse Aboriginal community grew through the 20th century to become an established hub of Aboriginal people.

2.3 Indigenous Heritage

Reference is made to the Indigenous Heritage Assessment Report prepared by Dominic Steele Consulting Archeology (September 2003) that types of Aboriginal archeological evidence may *potentially* remain are in locations of buried midden deposits in sandy profiles within the cemetery, open campsites or isolated finds of durable material, rock engravings upon any flat areas that possibly remain buried and axe grinding grooves in suitable sandstone outcrops.

As the location of the proposed works is a formed road where substantial excavation has occurred, the probability for the occurrence of indigenous heritage at the site is considered extremely low based on the probability as outlined the Indigenous Heritage Assessment Report prepared for the site referenced above.

2.4 Outline European History

The following information has been summarised from B.T. Dowd's (1959) local history of the Waverley area, *The History of the Municipality of Waverley*. With the coming of the Europeans, the arable lands of the south and west were quickly settled with the Waverley area remaining isolated several decades into the nineteenth century. Of the three initial land grants from 1809 to 1831, it is the 1831 land grant to Barnett Levey around Bondi Junction was the most formative for the later municipality of Waverley. In 1832 Crown land ceased to be granted free and land was offered for purchase and with that the wider development of Waverley.

The first portion of land consisting of 5 acres on which Waverley cemetery stands was bought from Mr John Starkey for 200 pounds on the 25th February 1875 and in December of the same year, 5 additional acres were purchased with further land of 12 acres in 1885. The cemetery was officially opened on the 1st August 1877 and limited to 10 acres. During this initial period, much of the original 10 acres was designed and laid out with sections, road, paths, plots, seating and plantings with the twelve acres along Trafalgar Street fenced off (Figure 3).

By 1879, the cemetery extended to 22 acres with frontage to the Tasman Sea (Figure 4) and a 'neat Gothic cottage' of stone was built in 1879 providing office and accommodation for the cemetery manager. Extensive plantings were also instigated with plants supplied by the Sydney Botanic Gardens, then under the direction of Charles Moore. The mature Norfolk Island Pines and sole Moreton Bay Fig are consistent with the species favoured by the Sydney Botanic Gardens at this time and may be part of the original plantings made in this period.

In 1892, approximately 10 acres of land was transferred to Council and in 1894 a further 4 acres completed the acquisition of land for the cemetery and comprised 41 acres in a large and rectangular parcel of 41 acres. In 1920, the south western portion of the cemetery was sold off for residential development and with the funds realised from the sale, roads in the vicinity of the cemetery were constructed and maintained with stone walling and fencing extended in the cemetery (Figure 5).

By 1923, much of the cemetery was densely developed, fenced with painted timber pickets, aris rail park fencing and stone walling. The cemetery underwent gradual improvements between the war period, with further walling, shelter structures and the gradual filling in of the eroded dyke gully around this time. Stone was quarried on site for much of the stone works. Rationalisation of roads were undertaken in the 1950s to provide further space for plots, with the first memorial garden ashes set up in the central roundel in 1959 and ash interments in 1961 (Figure 6).

By 1907, the cemetery was nearing exhaustion for new unpurchased allotments. In 1976 Waverley Council agreed in principle that the cemetery be converted into a Pioneer Remembrance Park. The cemetery was listed by the National Trust of Australia (NSW) in 1981 and the cemetery was placed on the Register of the National Estate in 1982. Council reconsidered its former resolution to convert the cemetery into a Remembrance Park and it was abandoned. The cemetery was identified as an item of heritage significance in the 1993 Waverley Heritage Study and a Plan of Management was prepared in 1996. In May 1997, a cemetery administrator was appointed and the a program of restoration of the built infrastructure was commenced. In 2003, a Cultural Plan and a Plan of Management was commissioned and prepared by Allen Jack+ Cottier Architects. In 2016 the cemetery was listed as a State Heritage Item. In 2017, the cemetery celebrated its 140th anniversary. A conservation management plan was prepared by City Plan Heritage in 2018. The cemetery continues to be used today for a range of funeral, memorial and commemorative services.

2.5 Evolution of the Cemetery

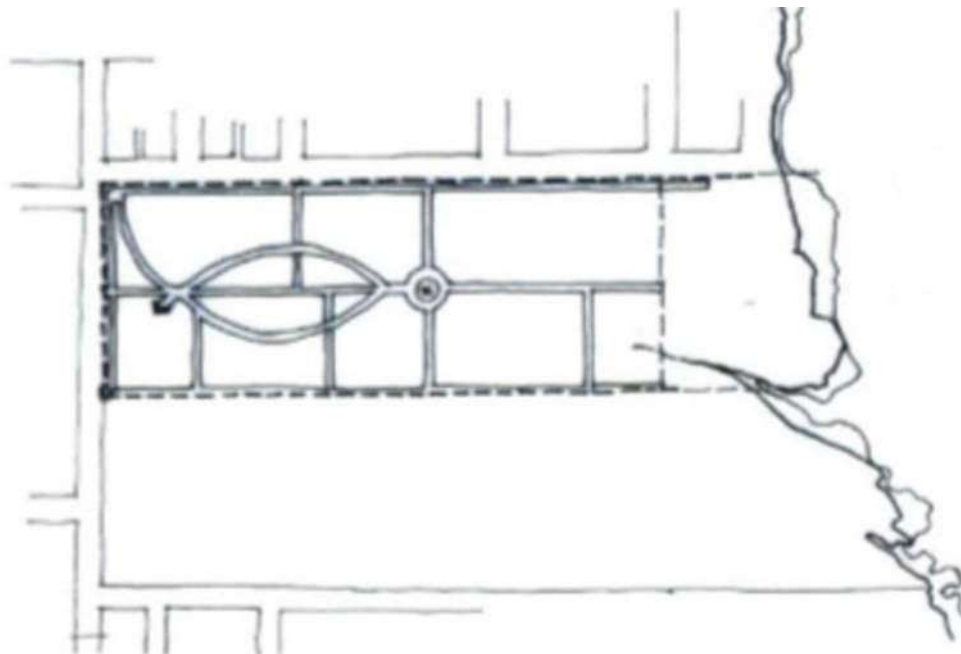


Figure 3: Waverley Cemetery 1878-1884. (Source: Craig Burton in Allan Jack + Cottier 2003, "Conservation Management Plan for Waverley Cemetery")

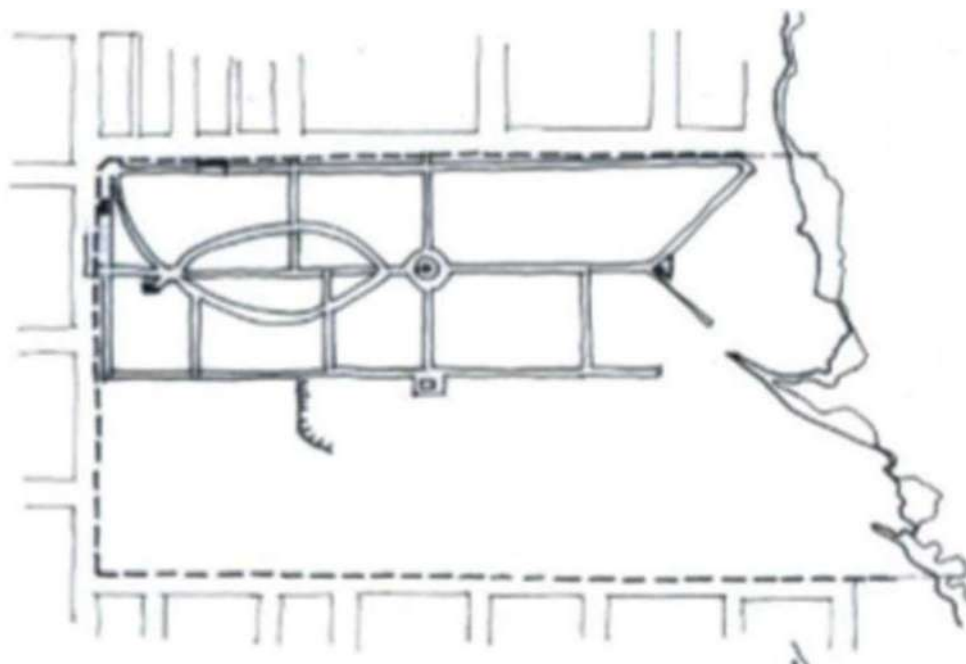


Figure 4: Waverley Cemetery 1885-1915. (Source: Craig Burton in Allan Jack + Cottier 2003, "Conservation Management Plan for Waverley Cemetery")

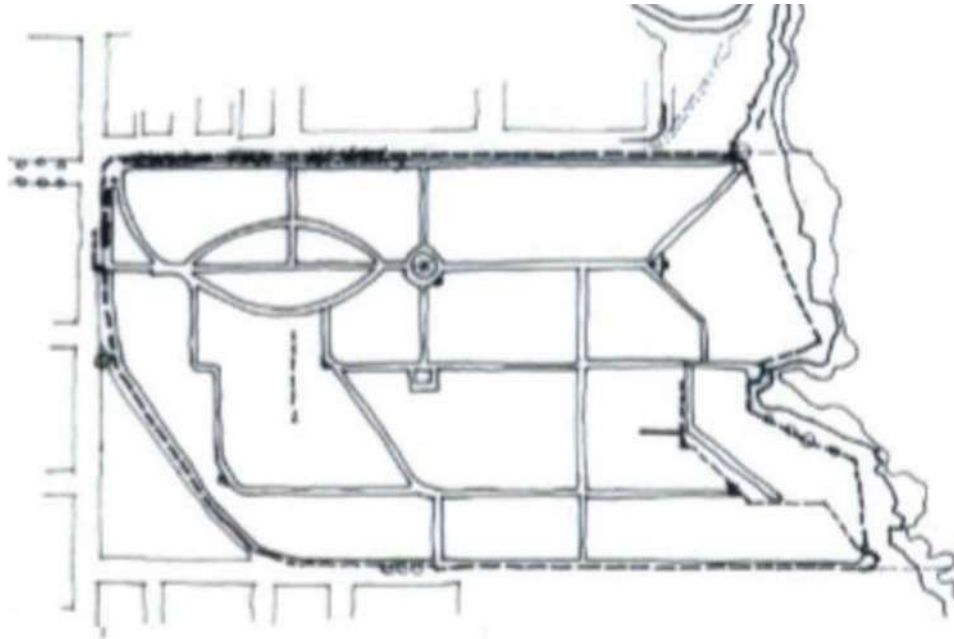


Figure 5: Waverley Cemetery 1916-1950. (Source: Craig Burton in Allan Jack + Cottier 2003, "Conservation Management Plan for Waverley Cemetery")

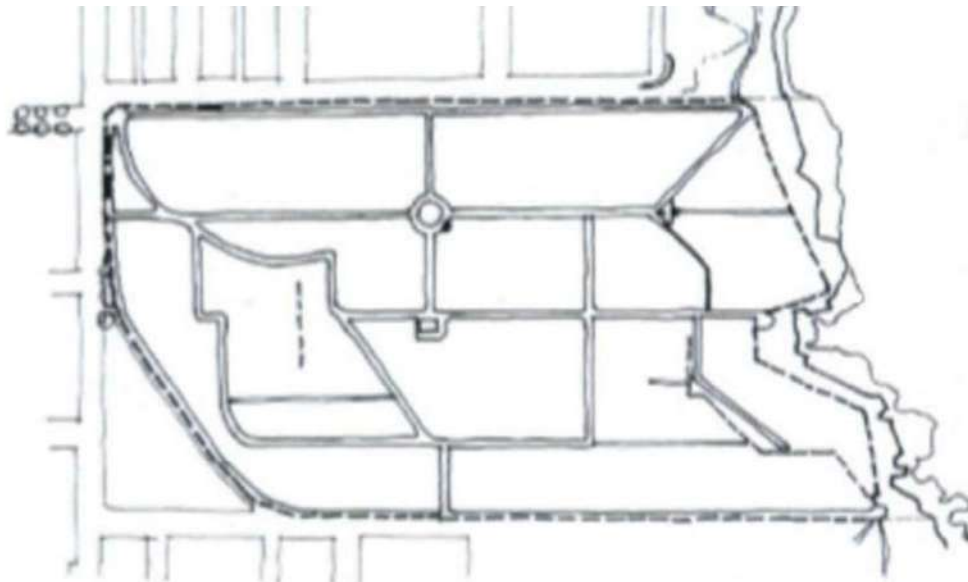


Figure 6: Waverley Cemetery 1951-2002. (Source: Craig Burton in Allan Jack + Cottier 2003, "Conservation Management Plan for Waverley Cemetery")

2.6 Physical Condition



Figure 7: General view of cemetery looking east. Note the dominance of the monumental grave sites and broader setting of the sea. (Image Author 2023)



Figure 8: General view of cemetery looking east showing road and monumental (Image Author 2023)

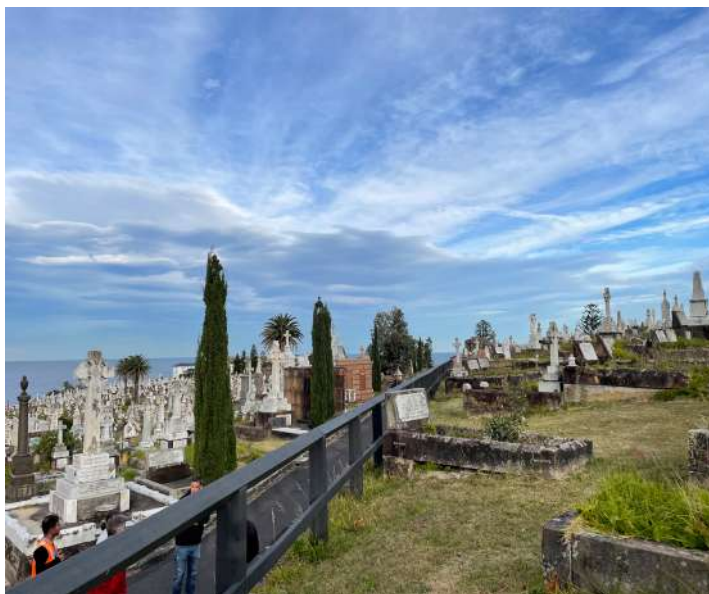


Figure 9: View looking south east overlooking Quinn Road. (Image Author 2023)



Figure 10: View looking along Quinn Road showing the sandstone retaining wall, sandstone edging and asphalt surface of road (Image Author 2023)



Figure 11: View of Quinn Road looking south east. Note the sandstone wall (of exceptional significance as per Conservation Management Plan City Plan Heritage 2018. (Image Author 2023)



Figure 12: View of Quinn Road looking north west. This section of road is the proposed location of the ash interment walls (Image Author 2023)

3.0 The Place

3.1 Description of Grounds

Waverley Cemetery is located on a prominent coastal location between Bronte and Clovelly. Panoramic views are gained from the cemetery to the Tasman Sea (Figure 7, 8). The cemetery landscape is typical of a 19th century cemetery layout with formal rows of graves, roads and paths with a visual dominance of, graves, funeral stone work and memorials (Figure 9). The main entry is on the corner of Trafalgar Street and St Thomas Street at the upper western side of the cemetery and is marked by formal gates and forecourt (Figure 13). The cemetery office is located at this entry point.

The grounds are enclosed by sandstone walls to the main entry and combination of timber picket fences and retaining walls to the remains of the boundary. Pedestrian access is gained to the cemetery at multiple points including from the coastal walk, located on the eastern side of the cemetery. The underlying geology is Hawkesbury Sandstone which is expressed in the coastal cliffs to the east, north and south of the cemetery. The sandstone themes are continued with the use of the locally quarried sandstone in the formal walls, road and path edging, and monuments.

The original vegetation would have comprised of coastal scrub with open woodland (dry Sclerophyll) in protected gully areas. All of the natural vegetation has been cleared with some limited remnant cultural plantings of Norfolk Island Pines and a Moreton Island Fig tree from the late 19th century. Supplementary plantings of shrubs, ground-covers and small native trees including Banksias are located adjacent to grave sites within the formal interment areas. Quinn Road, the subject of this report is located to the upper portion of the cemetery and is typical of the character and layout of the cemetery. It is distinguished by an approximately 2.5 metre high sandstone wall to the western side of the road (Figure 10, 11, 12). This wall retains the upper portion of the graves to this area. To the eastern side of Quinn Road are established interments with some informal native tree plantings between the graves.

3.2 Generally

Waverley Cemetery generally remains an intact reflection of 19th century cemetery design (Figure 13) and is typical of other cemeteries of the time including South Head Cemetery. The exposed coastal location, which the cemetery shares with South Head Cemetery combined with limited spare areas in the cemetery layout, discourages the growth of vegetation and the cemetery retains the form, character and layout that has been essentially established since the late 19th century (Figure 14, 15). Gravestones and associated works are undertaken by monumental masons that have been approved by the cemetery.

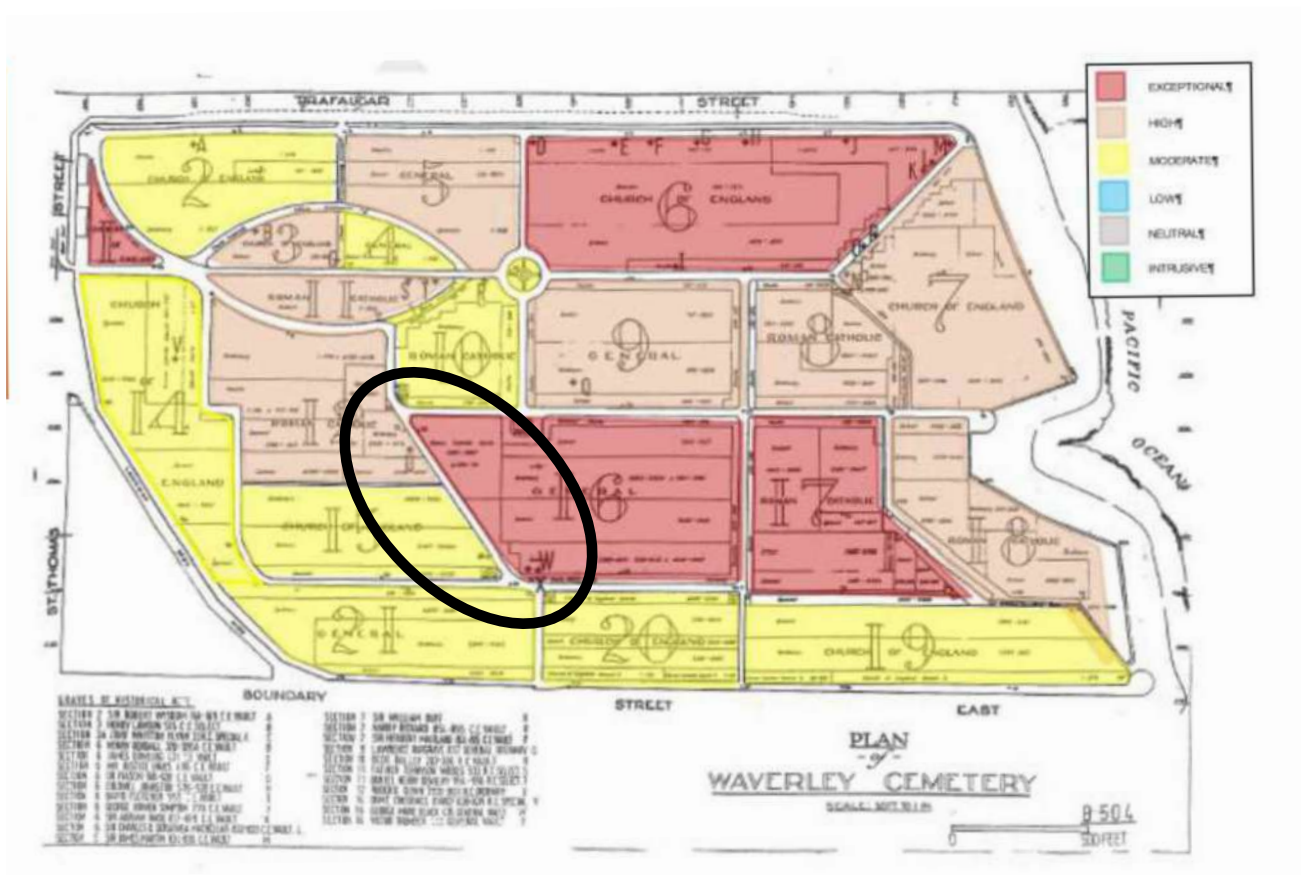


Figure 13: Plan of Waverley Cemetery showing layout of site and designation of areas of significance. The outline indicates the location of the proposal (Source: Waverley Cemetery)

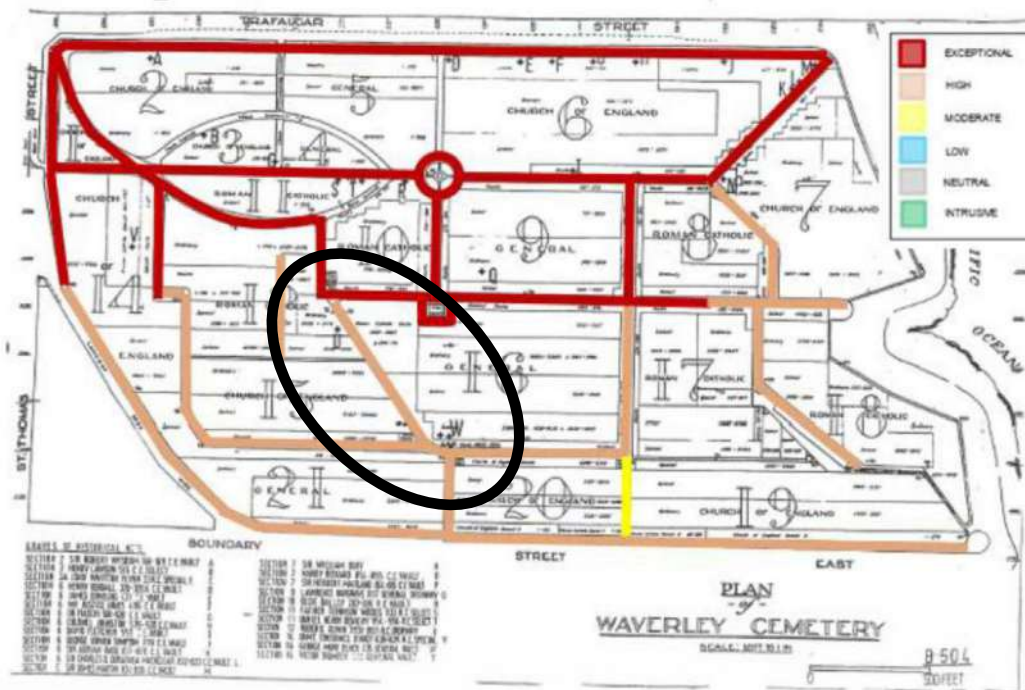


Figure 14: Plan of Waverley Cemetery showing layout of site and designation of roads of significance. The outline indicates the location of the proposal (Source: Waverley Cemetery)

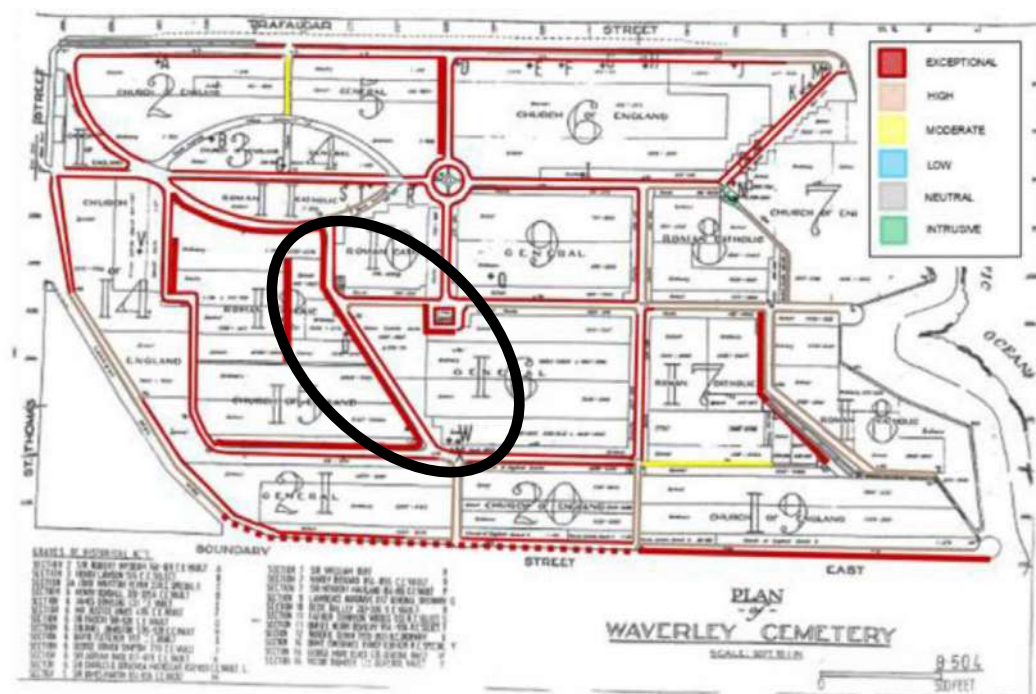


Figure 15: Plan of Waverley Cemetery showing layout of site and designation of walls and edges of significance. The outline indicates the location of the proposal (Source: Waverley Cemetery)

4.0 The Proposal

4.1 Assessment of Heritage Impact - Landscape

Waverley Cemetery is of local and of State heritage significance as a place of with historical, associational, social and aesthetic significance to Waverley Council, the Sydney Region and the State of NSW.

4.2 The Proposal

The proposal is to provide of a series of ash interment walls located to the western side of Quinn Road and adjacent to the existing stone wall to the west that allows for free pedestrian and vehicular access along Quinn Road. As part of the design there are places for people to walk, pause and sit along Quinn Road (Figure 19). The existing built environment consisting of the sandstone wall to the west, the roadway and the existing graves and landscape to the east of Quinn Road are retained.

The vision for the project is a series of twenty sandstone high-quality interment walls spaced at regular intervals along Quinn Road and set off 900mm from the existing sandstone wall that defines the western extent of Quinn Road (Figure 16,17, 18). The interment walls are designed in a bespoke manner with the use of non banded sandstone and appropriately scaled watertight niches (Figure 20).

The interment walls are set in a selected cobblestone base at the level of the road. Bronze interpretation inlays are located between the walls. These inlays provide opportunities for telling the story of poets interred in the cemetery and a further layering of the heritage values of place (Figure 19).

The location of the interment walls to the western side of Quinn Road allow for the interpretation of the road with clear sightlines when viewed from the north and south. The height, scale and bulk of the interment walls are carefully scaled so as to allow for the existing heritage elements of the sandstone wall to the west of the road to be accessed for repair and viewing. The grave sites and vegetation to the east of the road are retained insitu with all works located within the extent of the road. As a summary, the plinths have the following characteristics:

- there is enough access to repair and maintain the nearby heritage wall,
- the niches will be watertight,
- the sandstone will be non-banded,
- a heritage consultant will oversee the work at key milestones.



Figure 16: Concept Site Plan July 2023 (Source: Taylor Brammer Landscape Architects)

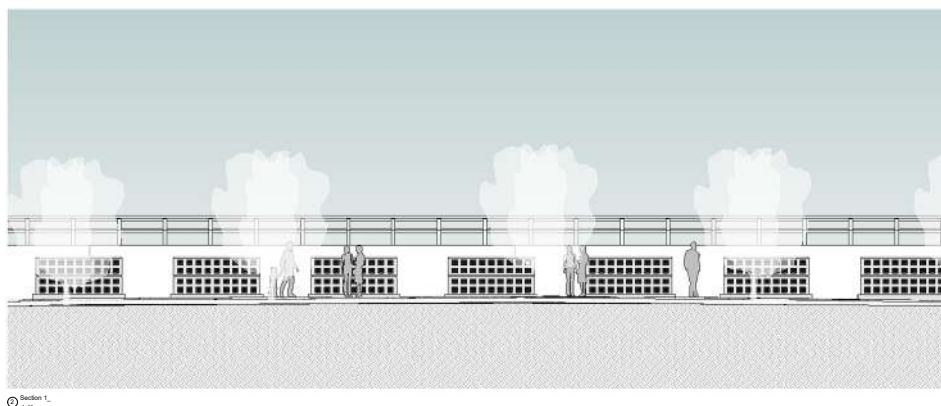


Figure 17: Elevation of proposed columbarium walls July 2023 (Source: Taylor Brammer Landscape Architects)

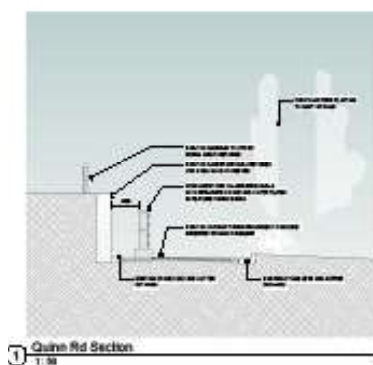


Figure 18: Section of proposed columbarium walls July 2023 (Source: Taylor Brammer Landscape Architects)



Figure 19: Artist's impression of proposal (Source: Taylor Brammer Landscape Architects)

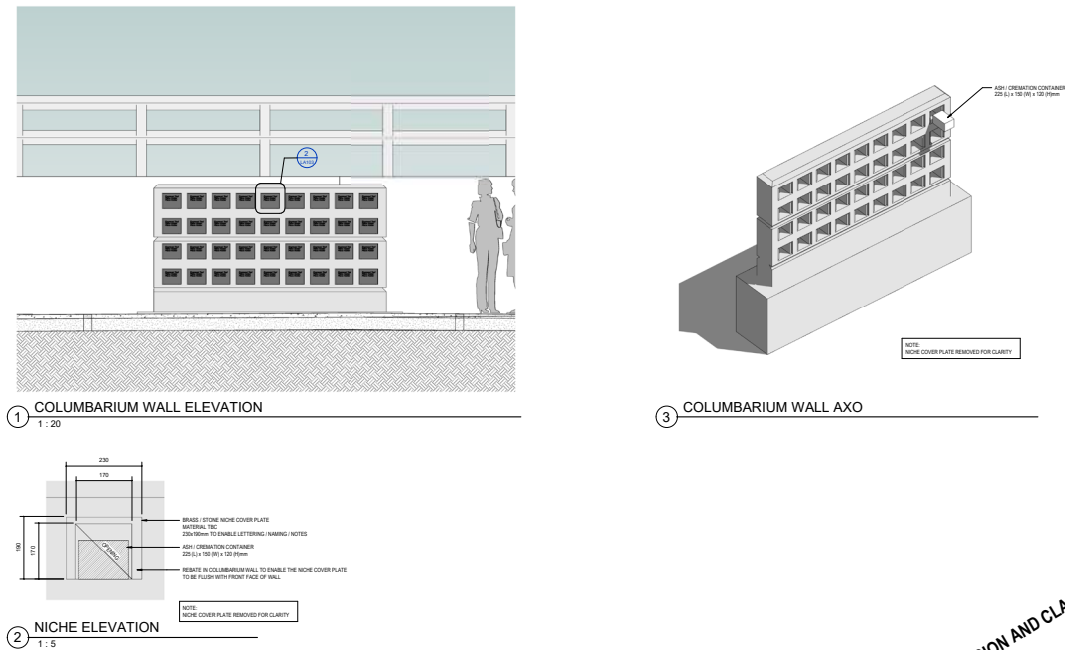


Figure 20: Further sections and elevations of proposed columbarium walls July 2023 (Source: Taylor Brammer Landscape Architects)

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FOR DISCUSSION AND CLARIFICATION ONLY

4.3 Conservation Policies

To retain the cultural significance of the place, any changes should respect the established values of place. The purpose of the conservation policies is to provide guidance for the ongoing use, care and management of the place.

An outline of the General Conservation Policies for the Cemetery are for the conservation of the following:

- the overall curtilage and layout
- the landscapes and settings, including significant views and vistas to, within and from the place
- design features
- significant buildings and other structures
- significant historical plantings, particularly any surviving symbolic plantings
- significant monuments and details
- significant historical associations
- other physical evidence, particularly archives
- community accessibility

The policies framed in the Conservation Management Plan that relate directly to the proposed action are outlined below.

4.3.1 Response to Policies

Generally

"The grounds of the cemetery are recognised for their importance to the people of NSW on the State Heritage Register under the NSW Heritage Act, 1977 (SHR No. 01975) (Figure 1). The grounds are also identified as an item of local landscape significance under Schedule 5 of the Waverley Local Environmental Plan (LEP) 2012 (item no. C66) (Figure 2), and the two sandstone buildings on its grounds are listed separately as an item of local heritage significance (item no. I343) under Schedule 5 of the Waverley LEP 2012 (Figure 2). Consecrated in 1877, Waverley Cemetery is the final resting place of many people who are significant to the development of New South Wales and Australia and continues to function as an active burial ground as well as a tourist attraction and place of recreation." Policy 5.1 The Basis for Management

Conservation Policy 58

Conservation of the heritage significance of the cemetery must be of paramount importance in the granting of approvals for new monuments. The locations, sizes, design and materials of new monuments and stone masonry devices must continue to be controlled to ensure that they have no adverse impact on the cemetery's cultural significant or significant fabric. In particular, the location of new vaults must be very carefully considered.

The proposal has been carefully calibrated to provide further interment space while respecting the heritage values of place. The proposal consists of twenty sandstone plinths located to the western side of Quinn Road. The plinths are lower than the adjacent sandstone wall and located to the side of the road, thus forming a subsidiary visual element to the overall Quinn Road curtilage. The location of the columbarium walls are 900mm to the east of the sandstone wall that defines the western extent of Quinn Road. This location facilitates access to the existing sandstone wall to repair and view the wall. This location also allows for the interpretation of the wall as a single entity that is of high significance as noted in the Conservation Management Plan prepared by City Plan Heritage (2018)

Conservation Policy 59

Materials for new monuments should be consistent with those prevalent in the cemetery (marble and sandstone). They should also be suitable for the coastal conditions of the site.

The works that are proposed are consistent with the above policy with the careful selection and consideration of the materials selected for the memorialisation walls. The walls are constructed of a non-banded sandstone that is used by the cemetery for repairs and maintenance works.

Conservation Policy 60

Some recent monuments are inconsistent with the style prevalent in the cemetery in their design and materials (for example, rose and black granite). Due to their significance to the deceased's families, these must be retained, however, new monuments of the same materials should be actively discouraged.

The works are consistent with the prevalent use of materials in the cemetery, being a non-banded sandstone. The design of each columbarium wall is a simple and unadorned rectangular plinth that houses 28 niches. The style of the walls are designed to be an complementary element when viewed in context of the existing sandstone wall and Quinn Road curtilage. The niches will be watertight within the sandstone wall.

Conservation Policy 61

Dimensions of new monuments must be consistent with other monuments in the cemetery.

The proposal is a subsidiary form to the immediate curtilage of Quinn Road. The monuments in the cemetery are primarily of a Victorian and Federation character and as such are highly ornate in character and form. (Figure 1, 2) The memorialisation walls are of a deliberate form that are recognised as interment walls and are not of a Victorian or Federation character. The distinctive nature of the existing individual memorials are complemented by the interment walls that are of a deliberate and unadorned design that adapts contemporary interment needs and are a subsidiary visual element within the immediate curtilage of Quinns Road.

Conservation Policy 62

Inscriptions added to existing monuments must be in the same style as the original where there is space. If there is insufficient room on the monument, a discreet plaque should be fixed to the surround or mounted on a small 'sloper' fixed to the slab on top of the grave.

The proposal consists of new interment walls that are carefully scaled to response to the immediate curtilage of Quinn Road and the broader cemetery surrounds. The niches proposed within the walls are of a scale and form that respects the existing plaques that are evident in the monuments adjacent to Quinn Road.

Conservation Policy 63

All monuments should be constructed in accordance with Australian Standard AS 4204 1994 - Headstones and Monuments.

The proposal is consistent with the policy as all works will be constructed to the above Australian Standard. The Standard is written with the objective of enabling cemetery authorities and monumental masons to specify minimum structural design criteria, performance, installation and renovation requirements for headstones and cemetery monuments so that these may have a minimum service life of 50 years. The proposed works are designed by qualified landscape architects experienced in monumental works in a number of cemeteries including Castle Hill Cemetery. The landscape architects have experienced structural engineers providing advice in specifying stone and structural design criteria.

Conservation Policy 92

The layout of the Waverley Cemetery site, with associated denominations and various sections, reflecting the subdivision and historical development of the site, is considered an essential component to its significance. The layout therefore is to be retained and the various sections conserved according to their significance ranking. Where sections of the original road layout are closed, these will need to remain clearly demarcated and easily interpretable.

The proposal retains Quinn Road as a road and conserves the layout of the cemetery. The road will be closed to private cars but open to service vehicles and pedestrians.

Conservation Policy 93

No further roads or paths should be closed for the creation of lawn cemetery areas or for other purposes.

Quinn Road remains open to the general public for their use and enjoyment of the cemetery. There are proposed at each end one removable bollard to be located to the north and south of the section of Quinn Road that is allocated for the interment walls. Service vehicles are allowed through the use maintenance. Quinn Road is clearly comprehended and remains as a road.

Conservation Policy 94

Roads that have been affected by subsidence of the ground should be repaired in accordance with a specification prepared by a civil engineer or appropriately qualified specialist.

Quinn Road is not affected by subsidence; however a qualified engineer is part of the team to provide suitable advice in relation to the road and proposed structures.

Conservation Policy 95

Asphalt surfaces to roads should be relaid where degraded. The composition of the new asphalt should be specified by a qualified conservation professional, preferably a materials conservator.

The current asphalt road is proposed to be relaid with bronze interpretative inlays between the plinths and a cobblestone stone inlay to the edges of the road. The asphalt will be specified by a conservation professional.

Conservation Policy 96

Weeds to road surfaces should be removed on a regular basis.

This will be undertaken with the regular maintenance of the place.

5.0 Summary Statement of Heritage Impact

The proposal of 20 interment walls to the western side of Quinn Road is consistent with the policies of the place. The proposal of the interment walls is a response by the cemetery for further capacity for interments.

The proposal is carefully scaled within the immediate context of the Quinn Road curtilage. The existing road is retained and the insertion of the interment walls does not diminish the heritage values of place. This is achieved through the careful placement of the walls as a subsidiary visual element within the road corridor.

The form and function of Quinn Road is retained where service vehicles are allowed to this section of the road and pedestrian access is encouraged. Clear sightlines are retained along the road where the edges, dimensions and scale of the road are comprehended as the overall existing heritage framework on every side of the interment walls. The edges of the road are defined by selected cobblestones to the base of the interment walls and road edges, this treatment tying in the bronze interpretative inlays that are laid between the interment walls.

The materiality of the interment walls are a non banded sandstone that is the prevalent material of the cemetery and is consistent with the conservation policies. Interpretative bronze inlays laid between the plinths provide opportunities for interpretation of the rich history of poets that are interred in the cemetery.

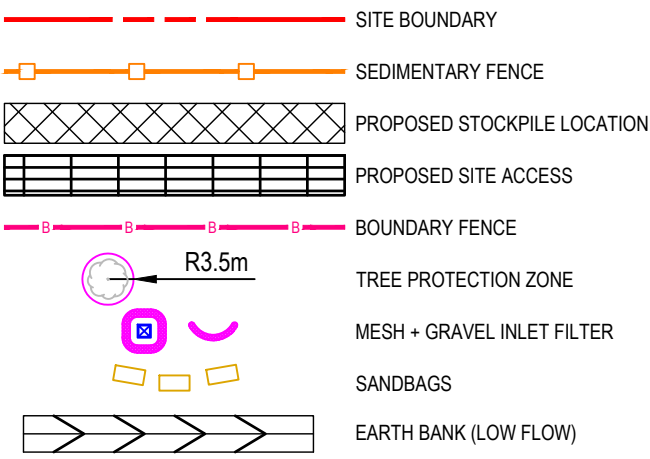
The proposal of the interment plinths will have a minor heritage impact on the Quinn Road curtilage where the views of Quinn Road will be modified through the insertion of the plinths as a subsidiary visual element. The design of plinths, being lower than the western sandstone wall and offset from the wall allows for wall to be comprehended as a separate entity. The location of the plinths offset from the centre of the road facilitates the understanding of the road as part of the overall heritage framework of the cemetery while accommodating the interment plinths as a necessary addition for the ongoing capacity and viability of the cemetery.

The project does not have any significant impact on Indigenous heritage of the place as the location of the proposed works are in an established excavated location of Quinn Road.

The overall heritage impact is positive as the proposal provides further opportunities for interpretation, retains the road reserve and immediate curtilage and provides further interments as carefully considered supplementary elements within the heritage values of place.

Appendix 4: Erosion Sediment Control Plan

SWMP LEGEND



EROSION AND SEDIMENT CONTROL PLAN

1. MEASURE PROVIDED WILL BE TO THE SATISFACTION OF THE PRINCIPAL'S REPRESENTATIVE IN ACCORDANCE WITH THE LOCAL AND STATUTORY REQUIREMENTS UNLESS NOTED OTHERWISE. ALL WORKS SHALL BE ERECTED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF 'MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION 'BLUE BOOK', VOLUME 1 BY LANDCOM
2. ALL EXCAVATION WORKS ARE TO BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, IF AVAILABLE, AND THE STRUCTURAL ENGINEER'S DRAWINGS.
3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
4. MESH AND GRAVEL INLET FILTERS TO BE INSTALLED UPSTREAM OF PROPOSED STORMWATER PITS AS WELL AS EXISTING STORMWATER PITS DOWNSTREAM OF DISTURBED AREAS.
5. TOP SOIL WILL BE STRIPPED AND STOCKPILED FOR ALTER USE IN LANDSCAPING.
6. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
7. TOP SOIL WILL BE RE SPREAD AND ALL DISTURBED AREAS WILL BE REHABILITATED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
8. ALL SEDIMENT TO BE STORED AND COLLECTED BY A LIQUID WASTE COMPANY FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.
9. ROADS AND FOOTWAYS TO BE SWEEPED AT THE END OF THE DAY.
10. NO WATER CONTAINING OIL, FOAM, GREASE, SCUM OR LITTER WILL BE DISCHARGED TO THE STORMWATER DRAINAGE SYSTEM FROM THE SITE.
11. ALL STORED WASTES ARE KEPT IN DESIGNATED AREAS OR COVERED CONTAINERS THAT PREVENT ESCAPE INTO THE STORMWATER SYSTEM.
12. THE AMOUNT OF MUD, DIRT, SAND, SOIL, CLAY OR STONES DEPOSITED BY VEHICLES ON THE ABUTTING ROADS IS MINIMISED WHEN VEHICLES ARE LEAVING SITE.
13. NO MUD, DIRT, SAND, SOIL, CLAY OR STONES ARE WASHED INTO, OR ARE ALLOWED TO ENTER THE STORMWATER DRAINAGE SYSTEM.
14. THE SITE IS DEVELOPED AND MANAGED TO MINIMISE THE RISKS OF STORMWATER POLLUTION THROUGH THE CONTAMINATION OF RUN-OFF BY CHEMICALS, SEDIMENTS, ANIMAL WASTES OR GROSS POLLUTANTS IN ACCORDANCE WITH CURRENTLY ACCEPTED BEST PRACTICE.
15. ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAINFALL EVENTS TO MAKE SURE THEY ARE MAINTAINED TO A FULLY FUNCTIONAL CONDITION.

EROSION & SEDIMENT CONTROL PLAN
SCALE 1:200

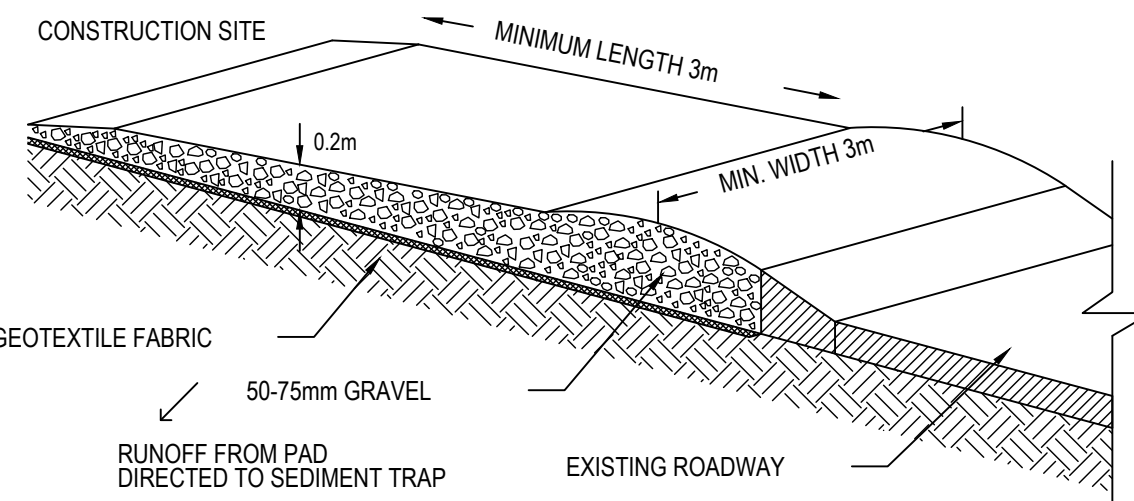
MESH + GRAVEL INLET FILTER (SD6-11)
TO BE INSTALLED UPSTREAM OF ALL INLET PITS ALONG
QUINN ROAD. INSTALL IN ACCORDANCE WITH DETAIL SD6-11

STABILISED SITE ACCESS (SD6-14)
INSTALL IN ACCORDANCE WITH DETAIL SD6-14

SEDIMENT FENCE (SD6-8)
INSTALL IN ACCORDANCE WITH DETAIL SD6-8

MESH + GRAVEL INLET FILTER (SD6-11)
TO BE INSTALLED WITHIN GUTTER DOWNSTREAM OF
PROPOSED WORKS AREA. INSTALL IN ACCORDANCE WITH
DETAIL SD6-11

MESH + GRAVEL INLET FILTER (SD6-11)
TO BE INSTALLED UPSTREAM OF ALL GRATED INLET PITS
ALONG QUINN ROAD. INSTALL IN ACCORDANCE WITH
DETAIL SD6-11

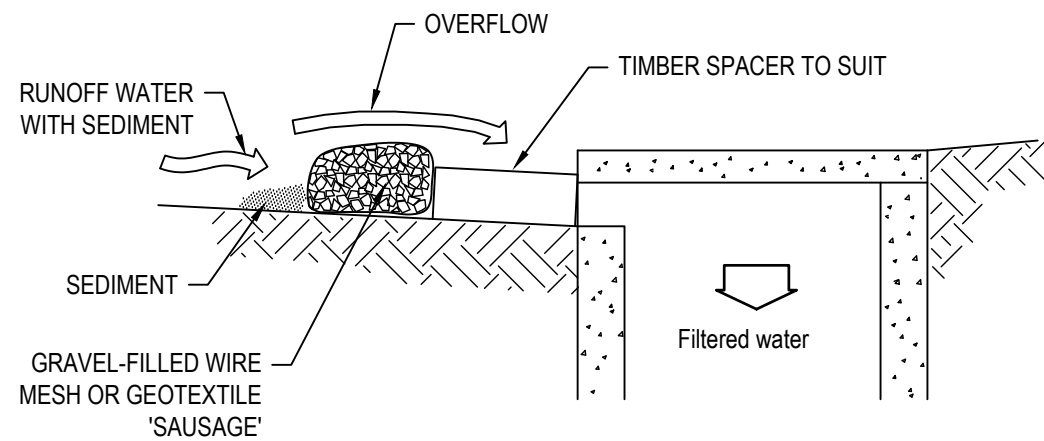
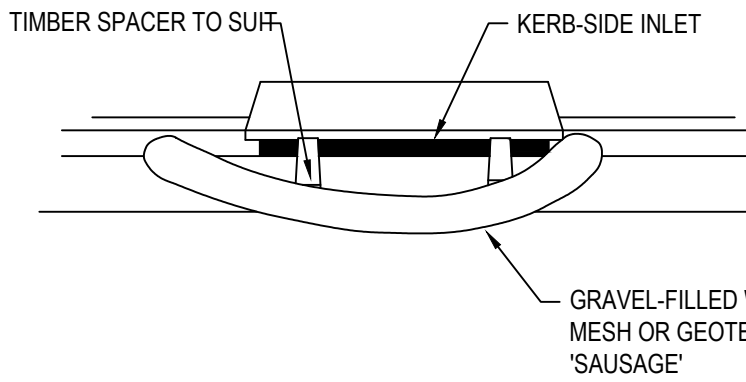


CONSTRUCTION NOTES:

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200 MM THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30 MM AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

STABILISED SITE ACCESS

SD 6-14



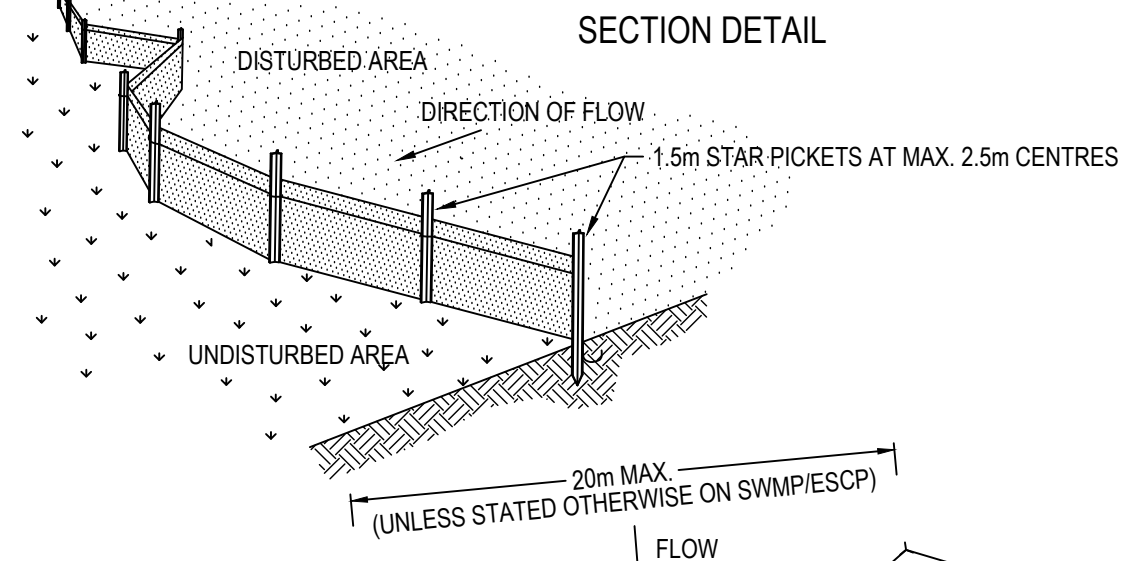
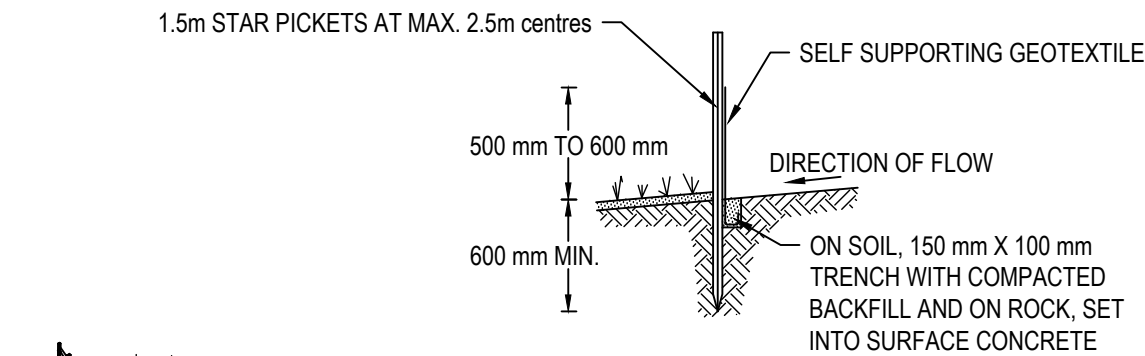
NOTE: THIS PRACTICE ONLY TO BE USED WHERE
SPECIFIED IN AN APPROVED SWMP/ESCP.

CONSTRUCTION NOTES:

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 HIGH AND 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING LEVEL AT LEAST A 100MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN BE SUBSTITUTE A MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT LADEN WATERS CANNOT PASS BETWEEN

MESH AND GRAVEL INLET FILTER

SD 6-11



CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150-MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150-MM OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE

SD 6-8

REVISIONS / AMENDMENTS				REVISIONS / AMENDMENTS			
Rev	Date	Description	Verified	Rev	Date	Description	Verified
P1	11.10.23	PRELIMINARY ISSUE	M.B.				



All dimensions to be verified on site prior to commencement of on-site work and/or off-site prefabrication. Figured dimension to be taken in preference to scaled dimensions. This drawing is copyright and remains the property of JHA Consulting Engineers. Reproduction in whole or part of these drawings without written consent constitutes an infringement of copyright.



PROJECT
WAVERLEY CEMETERY
RENEWAL

TITLE
CIVIL SERVICES
EROSION AND SEDIMENT
CONTROL PLAN AND DETAILS

PRELIMINARY ISSUE
NOT TO BE USED FOR CONSTRUCTION

DRAWN	N.R.	SCALE @ A1
CHECKED	M.B.	AS SHOWN
APPROVED	M.B.	
CREATED	AUGUST 2023	
JOB No.	DRAWING No.	REV

230177 C-DA500 P1

Appendix 5: Traffic Management Plan

Traffic Impact Assessment

Quinn Road Memorial Wall

Context

The road network within Waverley Cemetery generally reflects the development of the site over time and the topography of the site. The roads are typically very narrow, with no on-site parking areas meaning that vehicles can easily block others when parked, or risk damage to monuments and heritage curbs when seeking to 'park to the side' of the road.

Speed limits are set at 15 kmph and Vehicular Traffic within Waverley Cemetery is typically private vehicles for those visiting family gravesites, the cemetery's scale and undulating topography means that pedestrian access is not easy for the elderly or those with mobility concerns, maintenance and Contractor vehicles for repair and construction of memorials and hearses and mourner vehicles for interment purposes.

The Cemetery is not a thoroughfare, and all vehicular traffic enters and exits through the main gates at St Thomas Street. The Cemetery also provides a significant access point and entry and exit for the Coastal Walk for locals and tourists alike.

Due to this combination of factors, there is very light vehicular traffic movement and the predominant mode of transportation through the Cemetery is recreational walking and public activity, minor jogging etc.

Quinn Road as shown in the attached map, is a transverse section of the roadway located in the Upper Southwest section of the Cemetery. It is approximately 100 meters long and 3.5 meters wide. It allows for one-way Vehicular traffic movement only with ample space for pedestrian traffic.

The road is a connector link road and is a low use road highly able to be repurposed as a pedestrian route.

Impact on Traffic of the Proposed Memorialisation Wall

General Use - Quinn Road remains open to the general public for their use and enjoyment of the cemetery.

Vehicular Traffic – will be limited and bollards will be installed at each end to for traffic management purposes. These bollards will be able to be removable to enable interment and monumental masonry maintenance vehicles access on an as needs basis. All other vehicular traffic will be able to utilise other existing roads to access various all other parts of the Cemetery. The memorial walls are located 900 mm off the western wall that leaves 2.3 metres remaining of the roadway width for maintenance and interment access.

Pedestrian Access – will remain unaffected by this proposal.

Buggy Access – Buggies are currently used by Cemetery staff to inspect gravesites for sales and maintenance purposes. They are also used to transport frail and aged customers with mobility issues to their gravesites. The construction of the Memorialisation Walls will have no impact on the continuing used of buggies on Quinn Road.

The road remains clearly identifiable as a road with all edge conditions intact.



Appendix 6: Heritage Exemption Certificate



HEC-52/2023

15-Dec-2023

S Cassidy

LEVEL 1, 87-89 Oxford St

BONDI JUNCTION NSW 2022

St Thomas Street, BRONTE
HERITAGE EXEMPTION CERTIFICATE

Dear Sir/Madam

I refer to your application for a Heritage Exemption Certificate, under Clause 5.10 (3) of the Waverley Local Environmental Plan 2012 (WLEP), in regard to proposed works at the above-mentioned property.

Council has reviewed the application documents/plans submitted on 01/11/2023 in regard to the following proposed works:

1. Repointing of existing sandstone heritage wall
2. Provision of 20 freestanding columbarium walls for watertight ash internments (and maintaining maintenance access to wall)
3. Provision of small garden beds between columbarium walls
4. Retain existing sandstone kerb and gutter
5. Resurface existing bitumen road with bitumen as per CMP
6. Provision of freestanding garden seats under trees
7. Inclusion of heritage interpretation referencing Waverley Cemetery poets and writers

The Council is satisfied that the works are of a minor nature and would not adversely affect the heritage significance of the heritage conservation area and item provided that the following conditions are fulfilled:

1. The existing stone wall is to be assessed as to maintenance - this being completed and carried out prior to the new works.
2. The proposed planter beds at the ends of each section are to be detailed so that water does not flow into the base of the adjacent columbarium.
3. Each columbarium is to be located sufficiently out from the existing stone wall to enable maintenance and removal of rubbish, plant material etc likely to fall behind the columbarium.

Contact us

Phone: 9369 8000 Fax: 9387 1820

Email: info@waverley.nsw.gov.au

Web: www.waverley.nsw.gov.au

Connect with us

facebook.com/whatsonwaverley

twitter.com/waverleycouncil

www.youtube.com/user/WavCouncil

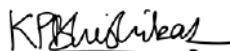
If you require any further clarification on the above condition, please contact the Council's Heritage Officer, Colin Brady, via email at colin.brady@waverley.nsw.gov.au.

Therefore, you are advised that the works described in your application are exempt from the requirement for development consent under Clause 5.10 (3) of the LEP and may commence on site.

The works shall be restricted to those described in this certificate, must comply with the relevant provisions of the Building Code of Australia (BCA) and must be completed within 12 months from the date of this certificate.

If you would like any further information in this regard, please contact me at Kalyani.Bhishikar@waverley.nsw.gov.au.

Yours sincerely



Kalyani Bhishikar
Development Assessment Officer
Development Assessment

Appendix 7: AHIMS Search Report

Adrian Borri

Date: 08 February 2024

51-55 Mountain St
ULTIMO New South Wales 2007

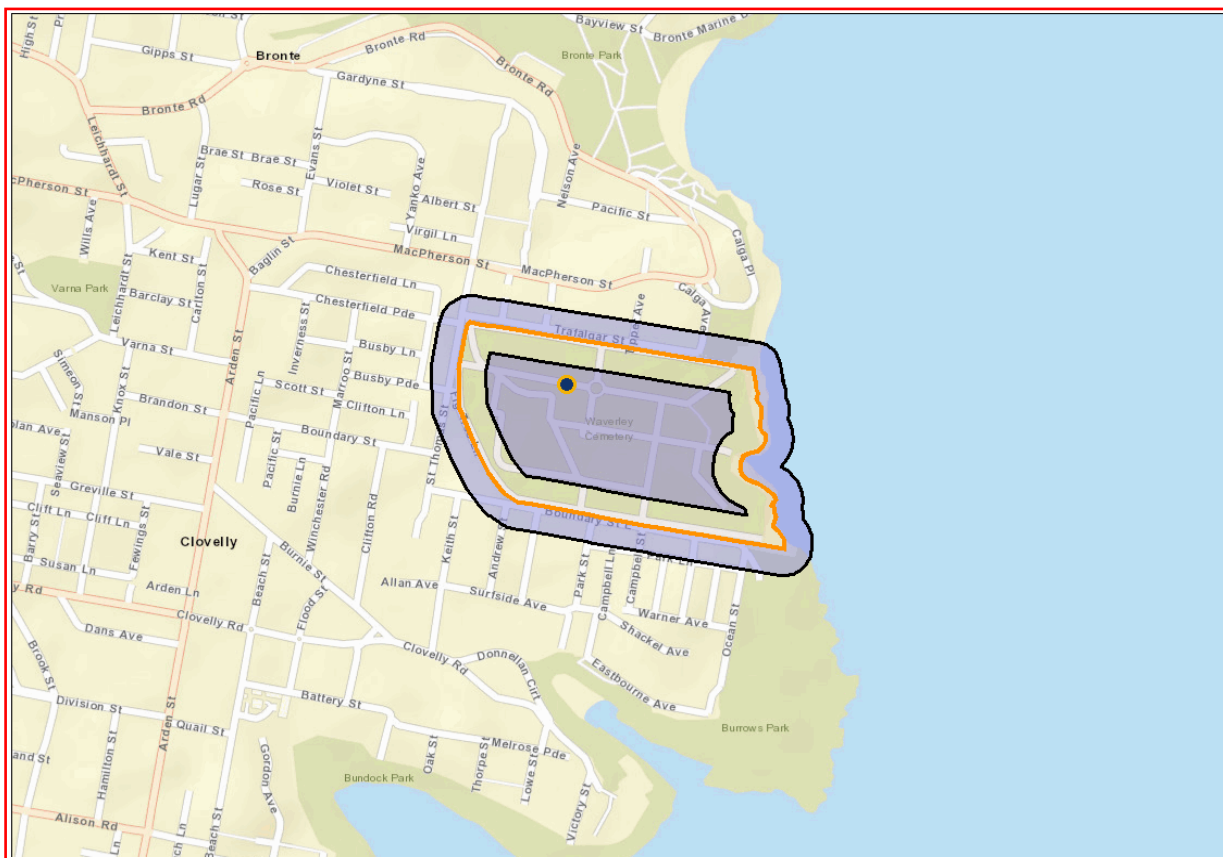
Attention: Adrian Borri

Email: adrian.borri@bbcplanners.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 1877, DP:DP1173589, Section : - with a Buffer of 50 meters, conducted by Adrian Borri on 08 February 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

1	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

Appendix 8: Section 10.7 Certificate

PLANNING CERTIFICATE

UNDER SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979



WAVERLEY
COUNCIL

Page No: 1

Online Services
Waverley Council

Cert. No.54658
Date: 24 January 2024
Receipt No. 2709386
Your reference: LOT 1877 DP1173589:70389

Property location **Waverley Cemetery, 44 St Thomas Street, BRONTE NSW 2024**

Parcel description: **Lot 1877 DP 1173589**

Owner: **Waverley Council**

PO Box 9

BONDI JUNCTION NSW 1355

[The next page is page 2]

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

The information in this certificate is provided under section 10.7(2) Environmental Planning & Assessment Act 1979 and the Environmental Planning & Assessment Regulation 2021, specifically Schedule 2.

The Council warns that:

- other authorities may hold information in respect of the land to which this certificate relates;
- the Council's records may not be complete in respect of the land; and
- the absence of a reference to any matter affecting the land does not imply that the land is not affected by any matter not referred to in this certificate.

Further information about this certificate may be available from Council's Duty Planner.

ITEM 1

Names of relevant planning instruments and development control plans

(1) The name of each environmental planning instrument and development control plan that applies to the carrying out of development on the land.

- Waverley Local Environmental Plan 2012 as published on the NSW Legislation website (www.legislation.nsw.gov.au) and updated from time to time.
- Waverley Development Control Plan 2022 as published on Council's website (www.waverley.nsw.gov.au) and updated from time to time.
- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008
- State Environmental Planning Policy (Housing) 2021
- State Environmental Planning Policy (Industry and Employment) 2021
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development
- State Environmental Planning Policy (Planning Systems) 2021
- State Environmental Planning Policy (Precincts – Eastern Harbour City) 2021
- State Environmental Planning Policy (Primary Production) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Resources and Energy) 2021
- State Environmental Planning Policy (Transport and Infrastructure) 2021

Any enquiries regarding these SEPPs should be directed to the NSW Government at <http://www.planning.nsw.gov.au>

(2) The name of each proposed environmental planning instrument and draft development control plan, which is or has been subject to community consultation or public exhibition under the Act, that will apply to the carrying out of development on the land.

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

- Draft Waverley Development Control Plan (Flood Amendment)
- Waverley Local Environmental Plan 2012 (Affordable Housing Contribution Scheme) Planning Proposal. Visit <http://haveyoursay.waverley.nsw.gov.au/affordable-housing-contribution-scheme> for further information.

Note: Any enquiries regarding any SEPPs should be directed to the NSW Government at <http://www.planning.nsw.gov.au>

(3) Subsection (2) does not apply in relation to a proposed environmental planning instrument or draft development control plan if—

- (a) it has been more than 3 years since the end of the public exhibition period for the proposed instrument or draft plan, or
- (b) for a proposed environmental planning instrument—the Planning Secretary has notified the council that the making of the proposed instrument has been deferred indefinitely or has not been approved.

(4) In this section—

proposed ***environmental planning instrument*** means a draft environmental planning instrument and includes a planning proposal for a local environmental plan.

ITEM 2

Zoning and land use under relevant planning instruments

The following matters for each environmental planning instrument or draft environmental planning instrument that includes the land in a zone, however described—

- (a) the identity of the zone, whether by reference to—
 - (i) a name, such as “Residential Zone” or “Heritage Area”, or
 - (ii) a number, such as “Zone No 2 (a)”,
- (b) the purposes for which development in the zone—
 - (i) may be carried out without development consent, and
 - (ii) may not be carried out except with development consent, and
 - (iii) is prohibited,

Waverley Local Environmental Plan 2012 *as published on the NSW Legislation website (www.legislation.nsw.gov.au) and updated from time to time.*

Zone C2 Environmental Conservation

1 Objectives of zone

- To protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values.
- To prevent development that could destroy, damage or otherwise have an adverse effect on those values.

2 Permitted without consent

Nil

3 Permitted with consent

Environmental facilities; Environmental protection works; Oyster aquaculture

4 Prohibited

Business premises; Hotel or motel accommodation; Industries; Local distribution premises; Multi dwelling housing; Pond-based aquaculture; Recreation facilities (major); Residential flat buildings; Restricted premises; Retail premises; Seniors housing; Service stations; Tank-based aquaculture; Warehouse or distribution centres; Any other development not specified in item 2 or 3

Please note that the E2 Environmental Conservation zone is now known as C2 Environmental Conservation, in accordance with the Standard Instrument (Local Environmental Plans) Amendment (Land Use Zones) Order 2021, effective 1 December 2021

Waverley Local Environmental Plan 2012 as published on the NSW Legislation website (www.legislation.nsw.gov.au) and updated from time to time.

Zone SP2 Infrastructure

1 Objectives of zone

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

2 Permitted without consent

Nil

3 Permitted with consent

Aquaculture; Roads; The purpose shown on the [Land Zoning Map](#), including any development that is ordinarily incidental or ancillary to development for that purpose

4 Prohibited

Any development not specified in item 2 or 3.

(c) whether additional permitted uses apply to the land,

No additional permitted uses apply to the land

(d) whether development standards applying to the land fix minimum land dimensions for the erection of a dwelling house on the land and, if so, the fixed minimum land dimensions,

The land **is not** subject to development standards that fix minimum land dimensions for the erection of a dwelling house.

(e) whether the land is in an area of outstanding biodiversity value under the [Biodiversity Conservation Act 2016](#),

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

The land **is not** in an area of outstanding biodiversity value under the *Biodiversity Conservation Act 2016*

(f) whether the land is in a conservation area, however described,

The land **is** within a Heritage Conservation Area.

- The land is located within a Heritage Conservation Area - Landscape identified in Waverley Local Environmental Plan 2012.

(g) whether an item of environmental heritage, however described, is located on the land.

*The land **contains** an Item of environmental heritage.*

- The land contains a Heritage Item - General identified in Waverley Local Environmental Plan 2012.

ITEM 3

Contributions plans

(1) The name of each contributions plan under the Act, Division 7.1 applying to the land, including draft contributions plans.

- Waverley Council Development Contribution Plan 2006

Please note the Development Contribution Plan is amended from time to time. It is the responsibility of the applicant to ensure that the correct version is applied.

(2) If the land is in a special contributions area under the Act, Division 7.1, the name of the area.

The land **is not** in a special contributions area under the Act, Division 7.1.

ITEM 4

Complying development

(1) If the land is land on which complying development may be carried out under each of the complying development codes under [*State Environmental Planning Policy \(Exempt and Complying Development Codes\) 2008*](#), because of that Policy, clause 1.17A(1)(c)–(e), (2), (3) or (4), 1.18(1)(c3) or 1.19.

(2) If complying development may not be carried out on the land because of 1 of those clauses, the reasons why it may not be carried out under the clause.

(3) If the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land, a statement that—

- (a) a restriction applies to the land, but it may not apply to all of the land, and
- (b) the council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

(4) If the complying development codes are varied, under that Policy, clause 1.12, in relation to the land.

Housing Code

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

Complying development under the Housing Code **may not** be carried out on the land. The land is affected by specific land exemption:

- Land is identified as being a coastal hazard - Geotechnical Hazard
- land is zoned E2 Environmental Conservation.
- land contains a Heritage Item.
- land is located within a Heritage Conservation Area - development is excluded from SEPP (Exempt and Complying Development) 2008, unless the development is for a detached outbuilding or swimming pool.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Rural Housing Code

There are no lands within the Waverley Council area that are affected by this Code.

Low Rise Medium Density Housing Code

Complying development under the Low Rise Medium Density Housing Code **may not** be carried out on the land. The land is affected by specific land exemption:

- Land is identified as being a coastal hazard - Geotechnical Hazard
- land is zoned E2 Environmental Conservation.
- land contains a Heritage Item.
- land is located within a Heritage Conservation Area - development is excluded from SEPP (Exempt and Complying Development) 2008, unless the development is for a detached outbuilding or swimming pool.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Greenfield Housing Code

There are no lands within the Waverley Council area that are affected by this Code.

Housing Alterations Code

Complying development under the Housing Alterations Code **may not** be carried out on the land. The land is affected by specific land exemption:

- land contains a Heritage Item.

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

General Development Code

Complying development under the General Development Code **may not** be carried out on the land. The land is affected by specific land exemption:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Commercial and Industrial Alterations Code

Complying development under the Commercial and Industrial Alteration Code **may not** be carried out on the land. The land is affected by specific land exemptions:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Commercial and Industrial (New Buildings and Additions) Code

Complying development under the Commercial and Industrial (New Building and Additions) Code **may not** be carried out on the land. The land is affected by specific land exemptions:

- Land is identified as being a coastal hazard - Geotechnical Hazard
- land is zoned E2 Environmental Conservation.
- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.
- land is located within a Heritage Conservation Area.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

Container Recycling Facilities Code

Complying development under the Container Recycling Facilities Code **may not** be carried out on the land. The land is affected by specific land exemptions:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Subdivisions Code

Complying development under the Subdivisions Code **may not** be carried out on the land. The land is affected by specific land exemptions:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Demolition Code

Complying development under the Demolition Code **may not** be carried out on the land. The land is affected by specific land exemption:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

Fire Safety Code

Complying development under the Fire Safety Code **may not** be carried out on the land. The land is affected by specific land exemptions:

- land contains a Heritage Item.
- part of land is identified in an Environmental Planning Instrument as being high biodiversity.
- part of land is within 100m of land reserved as a Marine Aquatic Reserve.

Council does not have sufficient information to ascertain the extent to which complying development may or may not be carried out on the land.

ITEM 5

Exempt development

- (1) If the land is land on which exempt development may be carried out under each of the exempt development codes under [State Environmental Planning Policy \(Exempt and Complying Development Codes\) 2008](#), because of that Policy, clause 1.16(1)(b1)–(d) or 1.16A.
- (2) If exempt development may not be carried out on the land because of 1 of those clauses, the reasons why it may not be carried out under the clause.
- (3) If the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land, a statement that—
 - (a) a restriction applies to the land, but it may not apply to all of the land, and
 - (b) the council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land.
- (4) If the exempt development codes are varied, under that Policy, clause 1.12, in relation to the land.

The land is land on which exempt development **may not** be carried out under each of the exempt development codes under [State Environmental Planning Policy \(Exempt and Complying Development Codes\) 2008](#), because of that Policy, clause 1.16(1)(b1)–(d) or 1.16A.

- land contains a Heritage Item.

Council does not have sufficient information to ascertain the extent to which exempt development may or may not be carried out on the land.

ITEM 6

Affected building notices and building product rectification orders

- (1) Whether the council is aware that—
 - (a) an affected building notice is in force in relation to the land, or
 - (b) a building product rectification order is in force in relation to the land that has not been fully complied with, or
 - (c) a notice of intention to make a building product rectification order given in relation to the land is outstanding.
- (2) In this section—

affected building notice has the same meaning as in the [Building Products \(Safety\) Act 2017](#), Part 4.

building product rectification order has the same meaning as in the [Building Products \(Safety\) Act 2017](#).

Council **is not** aware that:

- (a) an affected building notice is in force in relation to the land, or

- (b) a building product rectification order is in force in relation to the land that has not been fully complied with, or
- (c) a notice of intention to make a building product rectification order given in relation to the land is outstanding.

ITEM 7

Land reserved for acquisition

Whether an environmental planning instrument or proposed environmental planning instrument referred to in section 1 makes provision in relation to the acquisition of the land by an authority of the State, as referred to in the Act, section 3.15.

*The land **is not** affected by an environmental planning instrument or proposed environmental planning instrument referred to in section 1 that provides for the acquisition of the land by a public authority, as referred to in the Act, section 3.15.*

ITEM 8

Road widening and road realignment

Whether the land is affected by road widening or road realignment under—

- (a) the [Roads Act 1993](#), Part 3, Division 2, or
- (b) an environmental planning instrument, or
- (c) a resolution of the council.

*The land **is not** affected by an environmental planning instrument providing for the acquisition of the land by a public authority, as referred to in section 3.15 of the Act.*

ITEM 9

Flood related development controls

- (1) If the land or part of the land is within the flood planning area and subject to flood related development controls.

The land **is not** within the current flood planning area and **is not** subject to currently adopted flood related development controls.

The land **is not** within the draft flood planning area and **is not** subject to the draft related development controls under the draft Waverley Development Control Plan (Flood Amendment).

- (2) If the land or part of the land is between the flood planning area and the probable maximum flood and subject to flood related development controls.

This information is currently unavailable.

- (3) In this section—

flood planning area has the same meaning as in the Floodplain Development Manual.

Floodplain Development Manual means the *Floodplain Development Manual* (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

probable maximum flood has the same meaning as in the Floodplain Development Manual.

ITEM 10

Council and other public authority policies on hazard risk restrictions

- (1) Whether any of the land is affected by an adopted policy that restricts the development of the land because of the likelihood of land slip, bush fire, tidal inundation, subsidence, acid sulfate soils, contamination, aircraft noise, salinity, coastal hazards, sea level rise or another risk, other than flooding.

The land **is** affected by an adopted policy that restricts the development of land because of the likelihood of land slip, bush fire, tidal inundation, subsidence, acid sulfate soils, contamination, aircraft noise, salinity, coastal hazards, sea level rise or another risk, other than flooding as follows:

- The land is affected by acid sulfate subject to Clause 6.1 of Waverley LEP 2012 and Council's Water Management Technical Manual. The application of provisions under relevant state legislation is also warranted.
- The land has been identified in the Waverley Council Coastal Risk Management Policy as having a current exposure to a geotechnical hazard. The Waverley Council Coastal Risk Management Policy is based on a study dated 16 October 2012 and reflects information available at the time. Contact Council for more information.

- (2) In this section—

adopted policy means a policy adopted—

- (a) by the council, or
- (b) by another public authority, if the public authority has notified the council that the policy will be included in a planning certificate issued by the council.

ITEM 11

Bush fire prone land

- (1) If any of the land is bush fire prone land, designated by the Commissioner of the NSW Rural Fire Service under the Act, section 10.3, a statement that all or some of the land is bush fire prone land.

(2) If none of the land is bush fire prone land, a statement to that effect.

The land **is not** bush fire prone land, as designated by the Commissioner of the NSW Rural Fire Service under the Act, section 10.3

ITEM 12

Loose-fill asbestos insulation

If the land includes residential premises, within the meaning of the [Home Building Act 1989](#), Part 8, Division 1A, that are listed on the Register kept under that Division, a statement to that effect.

Council **has not** been notified that the land includes residential premises (within the meaning of Division 1A of Part 8 of the Home Building Act 1989) that are listed on the Register of Loose-fill asbestos kept under that Division.

The Register for Loose-Fill asbestos is kept by the Commissioner for Fair Trading. You can view the Register using the following link:

<https://www.fairtrading.nsw.gov.au/housing-and-property/loose-fill-asbestos-insulation/public-register-of-affected-properties>

ITEM 13

Mine subsidence

Whether the land is declared to be a mine subsidence district, within the meaning of the [Coal Mine Subsidence Compensation Act 2017](#).

The land **is not** proclaimed to be a mine subsidence district within the meaning of the Coal Mine Subsidence Compensation Act 2017.

ITEM 14

Paper subdivision information

(1) The name of a development plan adopted by a relevant authority that—

- (a) applies to the land, or
- (b) is proposed to be subject to a ballot.

Council **is not** aware of any development plan adopted by a relevant authority that applies to the land or that is proposed to be subject to a ballot.

(2) The date of a subdivision order that applies to the land.

There is **no** subdivision order applying to the land.

(3) Words and expressions used in this section have the same meaning as in this Regulation, Part 10 and the Act, Schedule 7.

ITEM 15

Property vegetation plans

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

If the land is land in relation to which a property vegetation plan is approved and in force under the [Native Vegetation Act 2003](#), Part 4, a statement to that effect, but only if the council has been notified of the existence of the plan by the person or body that approved the plan under that Act.

Council has **not** been notified that a property vegetation plan under the Native Vegetation Act 2003, Part 4 exists or applies to the land.

ITEM 16

Biodiversity stewardship sites

If the land is a biodiversity stewardship site under a biodiversity stewardship agreement under the [Biodiversity Conservation Act 2016](#), Part 5, a statement to that effect, but only if the council has been notified of the existence of the agreement by the Biodiversity Conservation Trust.

Council has **not** been notified of any biodiversity stewardship agreement under Part 5 of the [Biodiversity Conservation Act 2016](#) relating to the land.

Note—

Biodiversity stewardship agreements include biobanking agreements under the [Threatened Species Conservation Act 1995](#), Part 7A that are taken to be biodiversity stewardship agreements under the [Biodiversity Conservation Act 2016](#), Part 5.

ITEM 17

Biodiversity certified land

If the land is biodiversity certified land under the [Biodiversity Conservation Act 2016](#), Part 8, a statement to that effect.

The land **is not** biodiversity certified land under the [Biodiversity Conservation Act 2016](#), Part 8.

Note—

Biodiversity certified land includes land certified under the [Threatened Species Conservation Act 1995](#), Part 7AA that is taken to be certified under the [Biodiversity Conservation Act 2016](#), Part 8.

ITEM 18

Orders under [Trees \(Disputes Between Neighbours\) Act 2006](#)

Whether an order has been made under the [Trees \(Disputes Between Neighbours\) Act 2006](#) to carry out work in relation to a tree on the land, but only if the council has been notified of the order.

*Council **has not** been notified that an order has been made under the [Trees \(Disputes Between Neighbours\) Act 2006](#).*

ITEM 19

Annual charges under [Local Government Act 1993](#) for coastal protection services that relate to existing coastal protection works

- (1) If the [Coastal Management Act 2016](#) applies to the council, whether the owner, or a previous owner, of the land has given written consent to the land being subject to annual charges under the [Local Government Act 1993](#), section 496B, for coastal protection services that relate to existing coastal protection works.

No owner, or previous owner, has given written consent to the land being subject to annual charges under the Local Government Act 1993, section 496B, for coastal protection services that relate to existing coastal protection works.

- (2) In this section—

existing coastal protection works has the same meaning as in the [Local Government Act 1993](#), section 553B.

Note—

Existing coastal protection works are works to reduce the impact of coastal hazards on land, such as seawalls, revetments, groynes and beach nourishment, that existed before 1 January 2011.

ITEM 20

Western Sydney Aerotropolis

Whether under [State Environmental Planning Policy \(Precincts—Western Parkland City\) 2021](#), Chapter 4 the land is—

- (a) in an ANEF or ANEC contour of 20 or greater, as referred to in that Chapter, section 4.17, or
- (b) shown on the [Lighting Intensity and Wind Shear Map](#), or
- (c) shown on the [Obstacle Limitation Surface Map](#), or
- (d) in the “public safety area” on the [Public Safety Area Map](#), or
- (e) in the “3 kilometre wildlife buffer zone” or the “13 kilometre wildlife buffer zone” on the [Wildlife Buffer Zone Map](#).

The land parcel **is not** subject to the State Environmental Planning Policy (Precincts – Western Parkland City) 2021

ITEM 21

Development consent conditions for seniors housing

If [State Environmental Planning Policy \(Housing\) 2021](#), Chapter 3, Part 5 applies to the land, any conditions of a development consent granted after 11 October 2007 in relation to the land that are of the kind set out in that Policy, section 88(2).

The land is **not** affected by a condition of a development consent granted after 11 October 2007 which sets out terms of a kind referred to in State Environmental Planning policy (Housing) 2021, Chapter 3, Part 5, section 88(2).

ITEM 22

Site compatibility certificates and development consent conditions for affordable rental housing

- (1) Whether there is a current site compatibility certificate under [State Environmental Planning Policy \(Housing\) 2021](#), or a former site compatibility certificate, of which the council is aware, in relation to proposed development on the land and, if there is a certificate—

- (a) the period for which the certificate is current, and
- (b) that a copy may be obtained from the Department.

Council **is not** aware of a current or former site compatibility certificate under *State Environmental Planning Policy (Housing) 2021* in relation to proposed development on the land.

- (2) If [State Environmental Planning Policy \(Housing\) 2021](#), Chapter 2, Part 2, Division 1 or 5 applies to the land, any conditions of a development consent in relation to the land that are of a kind referred to in that Policy, section 21(1) or 40(1).

The land **is not** affected by a condition of a development consent under [State Environmental Planning Policy \(Housing\) 2021](#), Chapter 2, Part 2, Division 1 or 5, section 21(1) or 40(1).

- (3) Any conditions of a development consent in relation to land that are of a kind referred to in [State Environmental Planning Policy \(Affordable Rental Housing\) 2009](#), clause 17(1) or 38(1).

The land **is not** affected by a condition of a development consent imposed under [State Environmental Planning Policy \(Affordable Rental Housing\) 2009](#), clause 17(1) or 38(1).

- (4) In this section—

former site compatibility certificate means a site compatibility certificate issued under [State Environmental Planning Policy \(Affordable Rental Housing\) 2009](#).

Note: The following matters are prescribed by section 59(2) of the [Contaminated Land Management Act 1997](#) as additional matters to be specified in a planning certificate:

- (a) that the land to which the certificate relates is significantly contaminated land within the meaning of that Act-if the land (or part of the land) is significantly contaminated land at the date when the certificate is issued,

No.

- (b) that the land to which the certificate relates is subject to a management order within the meaning of that Act-if it is subject to such an order at the date when the certificate is issued,

No.

**PLANNING CERTIFICATE UNDER
SECTION 10.7 (2&5) ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**

(c) that the land to which the certificate relates is the subject of an approved voluntary management proposal within the meaning of that Act-if it is the subject of such an approved proposal at the date when the certificate is issued,

No.

(d) that the land to which the certificate relates is subject to an ongoing maintenance order within the meaning of that Act-if it is subject to such an order at the date when the certificate is issued,

No.

(e) that the land to which the certificate relates is the subject of a site audit statement within the meaning of that Act-if a copy of such a statement has been provided at any time to the local authority issuing the certificate.

No.

Additional information under section 10.7(5)

Additional information may be provided under section 10.7(5) of the Environmental Planning & Assessment Act 1979. The provision of any such additional information in this certificate is in good faith and subject to section 10.7(6) of the Environmental Planning & Assessment Act 1979.

- BOARDING HOUSES: *State Environmental Planning Policy (Housing) 2021* includes provisions for Boarding Houses. The Housing SEPP is to be consulted if it is intended to demolish, alter or add to, or change the fabric or furnish of a boarding house or to change its use.

View recent Development Applications relating to the land via the Development Application Tracking Tool available at Council's website [Track a Development Application](#). Further information about this certificate may be available from Council's Duty Planner.



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Emily Scott
GENERAL MANAGER